



ARCHITECTURAL, CRITERIA
& DESIGN GUIDELINES

OWNERS ASSOCIATION LOT PURCHASERS MANUAL

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RECOMMENDED PLANT LIST

TREE LIST

AN INTRODUCTION TO KELLY PLANTATION

The Developers of Kelly Plantation are deeply committed to the success of this community. Since the initial stages of planning and development, only the highest standards of design and construction have been permitted. Kelly Plantation has been meticulously planned around the golf course, Choctawhatchee Bay, lakes, natural preserves and heavily wooded areas which the Developer has taken special care to protect in order to preserve the natural character of the site. Exhibit A on page 3 is the Kelly Plantation Master Plan which illustrates our careful planning.

In keeping with the total commitment to excellence in development and the continuing careful preservation of the site, the Developer has prepared this manual for single-family Lot purchase in Kelly Plantation. Lots within Kelly Plantation are tailored for the individual who desires the best residential environment, with amenities that rank among the finest and most private in Florida. Features such as large Lots, deep water access, championship golf course, boardwalks in the expansive nature preserve, future access controlled entrance, recreational facilities, a chapel, etc. all enhance the community. Using custom design(s) to meet their needs and desires, Lot purchasers attain the quality, convenience, and style they seek. These designs must be in keeping with the exterior architectural criteria established within this Manual.

The Developer will closely monitor each stage of development within Kelly Plantation, and will strictly enforce the standards and criteria set forth in this manual. Our commitment is to you. All the professionals associated with creating this community have approached their responsibilities with this spirit of commitment, evident throughout this manual. As Members of the Kelly Plantation Owners Association, we encourage you to embrace our commitment to excellence and the standards established herein.

LIMITING CONDITIONS

The existence of the New Construction Committee and its publication of these criteria and guidelines is intended for the mutual benefit and protection of all Owners of property in Kelly Plantation. This Manual sets forth minimum standards of design for Kelly Plantation in order to protect the value of all homes located therein. The Owners Association will update and revise this Manual over the course of development as the Board of Directors determines it is reasonably necessary in order to fulfill the intentions of these guidelines.

Under the terms of the Declaration of Covenants, Conditions and Restrictions for Kelly Plantation, this Manual is binding on all parties having an interest in any portion of the community. Each Owner is required to comply with the requirements set forth in this Manual. Any failure to comply with these requirements will be subject to the remedies provided in the Declaration of Covenants, Conditions and Restrictions, in addition to the legal remedies contained in the various legal agreements executed by Kelly Plantation Partners (the Developer) and the Owners.

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KELLY PLANTATION - THE DEVELOPER'S PERSONAL VIEW

The land on which Kelly Plantation is being built is possibly the most beautiful in all of Florida. It's magnificent ... truly God's masterpiece.

Located on the site of the old Mattie and Coleman Kelly turpentine farm, Kelly Plantation is situated between Jones Bayou to the east and Indian Bayou to the west. The north and south borders are Choctawhatchee Bay and Highway 98 respectively.

Offering the last of the Bay's deep water home sites, Kelly Plantation is certain to be one of the most sought after addresses on the entire Emerald Coast.

In addition to the deep water shoreline Kelly Plantation is a virtual paradise of nature's goodness; combining dense woods, lush ground foliage and extensive inland water areas to form an extraordinary setting for gracious and peaceful living.

But as remarkable and important as the land itself is, it is only one of the reasons Kelly Plantation is such a special place. We believe that the sincere commitment of everyone involved in the Kelly Plantation project forms the other part.

Our commitment to the integrity of the landscape ... to the history of the property, to the dream of Mattie and Coleman Kelly and to providing Destin with an outstanding permanent community ensures that through every stage of planning, construction and marketing only the very best work is acceptable.

The land on which Kelly Plantation sits has a rich and interesting history.

Perhaps the most unique period in the site's history began in the early 1930's, when Coleman Kelly and his wife Mattie came to Destin, bought the property and established a turpentine farm there. For over 40 years, the farm flourished as one of Destin's leading industries.

When Mattie Kelly closed the turpentine facility, she vowed not to sell the land or have it developed until a serious, well-conceived proposal came along which would both respect and enhance the land and fulfill her late husband's dream of it becoming something very special for his beloved Destin.

That special purpose didn't come along until 1991, when we presented our plan for Kelly Plantation to Miss Mattie.

After turning down hundreds of offers and proposals over the years, she not only fell in love with the Kelly Plantation concept, she was closely involved with its planning until her death in late 1992.

Every day that passes, bringing Kelly Plantation closer to completion, we are more reassured that not only are we creating the most outstanding residential community in Destin's history, we are fulfilling the dreams of two of Destin's most memorable citizens ... Coleman and Mattie Kelly.

And, just as exciting, we have the opportunity to help build and fulfill the dreams of every person who chooses to make Kelly Plantation his or her home.

Yours truly,
Davage "Buddy" Runnels

I. DEFINITIONS

1. **ANCILLARY STRUCTURE(S)** - A structure within the Building Area (Zone C) which extends vertically above finished grade, detached from the main residence, such as a guest cottage, gazebo, cabana or garage and constructed with the same materials, roof pitch and colors as the main residence. Patios, or any such horizontal structures are not included in this description.
2. **APPROVED BUILDER** - Shall mean and refer to, the builders who have submitted and met all criteria required to build homes in Kelly Plantation.
3. **ARCHITECTURAL CRITERIA & DESIGN GUIDELINES ("MANUAL")** - This Manual which contains guidelines, criteria and standards for the development, design construction and landscaping of all homes within the community. This Manual may be revised and/or amended by the Board of Directors from time to time.
4. **BOARD OF DIRECTORS** - Shall mean a group of people initially appointed by the Developer and later elected by the Owners of the community.
5. **BUILDING AREA (ZONE C)** - That portion of a Lot intended for the building the home. All allowed uses can take place in this area of the Lot.
6. **COMMON AREAS** - Those areas within the Kelly Plantation community which are owned and maintained by the Owners Association and are for the use and enjoyment of all Owners within Kelly Plantation. The term Common Areas shall refer to all Common Areas and any Exclusive Common Areas, if applicable. The Common Areas shall be conveyed to the Owners Association by the Developer upon recording a conveyance in the public records of Okaloosa County.
7. **COMMUNITY WIDE STANDARD** - The standard of maintenance established by the Owners Association, whether Lots or Common Areas.
8. **DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS ("DECLARATION")** - Restrictions placed on the community by the Developer concerning the use of all property within Kelly Plantation.
9. **DEVELOPER/DECLARANT** - Kelly Plantation Partners.
10. **HARD SURFACE AREA (ZONE B)** - That portion of the Lot intended for use for Outbuildings and horizontal construction such as patios, decks, sidewalks and driveways. (See Exhibit C Page 42).

11. KELLY PLANTATION - Shall mean that property in Okaloosa County, Florida that has been platted in the public records and subject to the Declaration of Covenants, Conditions and Restrictions of the Owners Association.
12. LANDSCAPE AREA (ZONE A) - That portion of the Lot intended for landscaping only, and through which driveways and walkways can pass. (See Exhibit C Page 42).
13. LOT (TOTAL LOT.AREA) - Shall mean a portion of the properties, whether developed or undeveloped, intended for development, use, and occupancy as a single-family detached home on a separately platted Lot. Each Lot contains three (3) Zones as described on Exhibit C on page 42. The Zones on each Lot have been predetermined and will be provided by the NCC.
14. NEW CONSTRUCTION COMMITTEE ("NCC") - A group of people appointed by the Developer for the purpose of the reviewing, administering and enforcing the Architectural Criteria and Design Guidelines set forth in this Manual and the Declaration of Covenants, Conditions and Restrictions for all new construction within Kelly Plantation.
15. OUTBUILDINGS - Those structures within the Rear Hard Surface Area (Zone B) which are no larger than 150 square feet in size or greater than 15 feet to the roof ridge line. This area is limited to the rear shadow of Zone C of that property in question, as reflected by cross-hatching in Exhibit C on page 42.
16. OWNERS/MEMBERS - Any person or entity that holds the record title to a Lot is an Owner and an automatic Member of the Owners Association.
17. OWNERS ASSOCIATION "(ASSOCIATION)" - Shall mean and refer to the Kelly Plantation Owners Association, Inc., a Florida not-for-profit corporation, formed for the administration of the properties described in the legal exhibits to the Declaration of Covenants, Conditions and Restrictions.
18. UNIT - Shall mean the residential dwelling constructed upon a Lot.

II. CONSULTANTS, AGENCIES AND UTILITIES

PROJECT CONSULTANTS

Land Planner/Landscape Architect

Reece, Hoopes & Fincher
400 Perimeter Center Terrace, Suite 85
Atlanta, GA 30246
Contact Person: Hoyt Fincher, (770) 394-8313

Project Architect

Southern Land Company
One Union Square, Krystal Bldg., Suite 303
Chattanooga, TN 37363
Contact Person: Jack Herr, (423) 267-7762

Community Consultants

7000 West Palmetto Park Road, Suite 400
Boca Raton, Florida 33433
Contact Person: Judith and Ray Reagan, (407) 394-4100

Local Counsel

Hall & Runnels, P.A.
1234 Airport Rd. Unit 106
Destin, Florida 32541
Contact Person: Steve Hall and Trey Runnels, (850) 837-9166

Surveyor

Gustin, Cothorn & Tucker, Inc.
121 Hart Street
Niceville, Florida 32578
Contact Person: John Gustin, (850) 678-5141

Accountant

Wilson, Price, Barranco & Billingsley
3815 Interstate Court
Montgomery, Alabama 36109-5220
Contact Person: Ed Reifenberg (205) 271-2200

Environmental Consultant

Sandy Young
949 Briarcliffe Road
Tallahassee, Florida 32308
(904) 222-0245

Environmental
Attorney

Steve Lewis

21S South Monroe Street
Tallahassee, Florida
32302
(904) 222-0720

UTILITIES

Water & Sewer Tap Fees

Destin Water Users
135 Benning Drive
Destin, Florida 32541
837-6146

Electric

Gulf Power
140 Southwest Hollywood Boulevard
Fort Walton Beach, Florida 32518
664-6500

Gas Service

Okaloosa Gas District
20 Northeast Hughes
Fort Walton Beach, Florida 32548
244-5197

Phone Service

Sprint
212 Southeast Hollywood Boulevard
Fort Walton Beach, Florida 32548
811 (Destin & Fort Walton Beach)

Cable TV

Cox Communications
320 NW Racetrack Road
Fort Walton Beach, Florida 32548
862-0175

PERMITTING A G E N C I E S

Building Department
Okaloosa County Planning & Inspection
1804 Lewis Turner Boulevard
Fort Walton Beach, Florida 32547
(850) 451-7180

Requirements:

- Building Permit Application
- Two sets of complete building plans sealed by an engineer.
- Site plan showing structure and all setbacks.
- Energy calculations
- Proof of tap fees for water and sewer paid
- New Construction Committee approval letter

Shoreline and/or wetland activity:
(i.e. seawall, docks, boat slip, gazebos, etc.....)
Florida Department of Environmental Protection
160 Governmental Center
Pensacola, Florida. 32501-5794
(850) 444-8300

Joint Application for dredging and filling in waters of the state.
Depending on the type of project, the project may require approval from DEP, US Army
Corp of engineers.

After approval from FDEP, approval from Okaloosa Planning and inspection is required.

III. KELLY PLANTATION OWNERS ASSOCIATION

The Developer of Kelly Plantation has created the Kelly Plantation Owners' Association, Inc. (the "Association") to govern the community. The Association is responsible for the administration of all residential property and Common Areas within Kelly Plantation. The Association's responsibilities include provisions of specialized services within a Neighborhood, maintenance of the Common Areas,, preparation and maintenance of accurate budgets, assessment and collection of each Member's share of the common expenses, and preservation of a reserve fund sufficient to repair and restore the Common Areas.

The Association will be operated initially by a Developer appointed Board of Directors. The Developer will continue to appoint a majority of the Board until seventy-five (75%) percent of the Units in all phases have certificates of occupancy and have been conveyed to Owners. Owner participation in the elected of the Board members is phased in over time. Owners will elect one director when 25% of the total Units he been conveyed to Owners, and will elect two directors when 50% of the total Units have been conveyed to Owners, Unless the Developer chooses to accelerate Owner participation in election of Board members.

Each and every Unit within Kelly Plantation is a Member of the Association. Owners are encouraged to serve on the many committees needed to operate the Association (i.e. covenants committee, modifications committee, nominating committee, etc.). Owners are encouraged to completely review the Declaration of Covenants, Conditions and Restrictions for Kelly Plantation, the Articles of Incorporation of the Association, and the By-laws of the Association, which are the documents that establish and describe the organization and operation of the Kelly Plantation Community.

IV. INTRODUCTION TO THE NEW CONSTRUCTION COMMITTEE

1. OVERVIEW - One of the most effective methods of assuring the protection of the Master Plan concept, community lifestyle, environment and individual property values is through the establishment of high standards of architectural review. All construction or modification changes to the community, i.e. buildings, garages, site work, building exterior improvements, etc., must be approved through an architectural review process. The Association administers this process by the authority vested in it through the Declaration of Covenants, Conditions and Restrictions. All proposed construction or modifications will be channeled through one of two committees, the New Construction Committee (NCC) or the Modifications Committee (MC).

Each stage of activity within the community is being monitored to assure all homes constructed are compatible with the Master Plan, the Declaration, and the Architectural Criteria and Design Guidelines. The New Construction Committee (hereafter referred to as the "Committee" or the "NCC") will be operated by Kelly

Plantation Partners until they relinquish its functions to the Association. The NCC is responsible for carrying out its duties on behalf of all Members of the Association for the benefit of the total community. The NCC reviews applications and design documents for all new construction, including landscaping. Each application is evaluated on its own merits. The NCC will use this Manual for the purpose of review, but may consider individually the merits of any design, due to special conditions that may provide benefits to the adjacent lots, the specific lot, or to the community as a whole. The NCC does not seek to restrict individual creativity or preferences. It will maintain within the overall community, the aesthetic relationship between homes, natural amenities, and surrounding neighborhoods. The Modifications Committee (MC) will control all architectural review functions within Kelly Plantation after control is relinquished by the New Construction Committee.

2. COMMITTEE MEMBERS - The New Construction Committee shall initially consist of three (3) people appointed by the Developer. The Developer may obtain the services of other individuals with a balance of lay people and professionals experienced in architecture, construction and landscaping.
3. MAJORITY VOTE - Each member of the Committee shall have an equal vote, and the majority of all members of the NCC shall constitute a decision for approval, or denial, of an application. In all cases the Board of Directors of the Association shall have the right to make the final decision on any applications that have been denied approval by the NCC.
4. MEETINGS - The Committee shall meet to review applications at least once a month, or more often, as needed. All decisions made by the Committee will be recorded in minutes taken at the NCC meetings. The minutes will include the decisions of the NCC and the rationale behind these decisions, which can be utilized in future decisions. Plans and specifications will be retained by the NCC as part of the Association records.
5. RESPONSIBILITIES - On behalf of the Association, the NCC is empowered to perform the following services:
 - A. To establish architectural motifs and exterior architectural themes.
 - B. To establish architectural standards and criteria for the protection of enduring property values, and to provide the best possible safeguards for continuing appreciation.
 - C. To review all architectural applications for compliance with the Architectural Criteria and Design Guidelines, as well as with the Declaration of Covenants, Conditions and Restrictions.
 - D. To assure compatible architectural standards and harmonious relationships with neighboring properties.
 - E. To require high standards of architecture and construction.

- F. To establish fees for the review of applications as may be required.
 - G. To assure that all properties are maintained in conformance with the Community-Wide Standard.
 - H. To monitor violations of the Architectural Criteria and Design Guidelines and notify the Developer and Board of Directors of the Kelly Plantation Owners Association for appropriate action.
 - I. To amend Architectural Criteria and Design Guidelines as may be required from time to time.
 - J. To contact applicants whose plans and specifications have been disapproved and to provide reasonable assistance and recommendations for adjustments to bring applications into compliance with standards and criteria and the Declaration of Covenants, Conditions and Restrictions.
 - K. To maintain copies of applications, architectural documents and related records.
 - L. To inform Members of the Association regarding NCC activities and changes in standards and criteria as they may occur.
6. ENFORCEMENT POWERS - Should an architectural violation occur, the NCC has the right to injunctive relief to require the Owner or Builder to stop, remove and/or alter any improvement in a manner which complies with the standards established by the NCC.

Approval by the NCC does not negate the obligation of the Owner or Builder from obtaining any required governmental approvals. If such approvals are required and are not obtained, the NCC and/or the governmental agency may take whatever action is necessary to obtain compliance.

V. NEW CONSTRUCTION COMMITTEE POLICIES

1. LIMITATION OF RESPONSIBILITIES - The primary goal of the NCC is to review the applications, plans, specifications, materials and samples submitted, to determine if the proposed structure conforms in appearance and construction criteria with the standards and policies as set forth by the NCC. The NCC does not assume responsibility for the following:
- A. The structural adequacy, capacity or safety features of the proposed improvement or structure.
 - B. Soil erosion, incompatible or unstable soil conditions.
 - C. Compliance with any or all building codes, safety requirements, governmental laws, regulations or ordinances.
 - D. Performance or quality of work of any contractor or sub-contractor.

2. REVIEW FEES - All plans are subject to a design review fee. Please contact the NCC Coordinator for the current review fee. Additional fees may be charged should additional professionals be required to consult or verify field progress. Additional review fees will be collected if plans are revised after final acceptance. The review fees are subject to change without notice.
3. TIME LIMITATIONS - After major review and approval by the NCC, the Owner or Builder must begin construction within ninety (90) days from the date of approval, or forfeit all approvals. In that event, a new application must be submitted and approval obtained before commencement of construction. Exhibit B on page 20, is the required application form which must be submitted with the plan.

An owner must begin construction of a residence within 5 years of Lot purchase and when construction starts, it must be completed within 9 months.

4. APPLICATION WITHDRAWAL - An application for withdrawal may be made without prejudice, provided the request for withdrawal is made in writing and filed with the NCC prior to the review and/or action on the application.
5. APPEAL – If an application has been denied, or the approval is subject to conditions which the Owner or Builder feels are harsh, he/she may request a hearing before the full NCC to justify his/her position. After the hearing, the NCC will review its decision and notify the Owner or Builder of its final decision within ten (10) days of the hearing.
6. VARIANCES - If the Owner and/or his Architect feel that certain portions of the Design Review Guidelines are inappropriate, based on the design elements of his particular residence, then the Owner may apply for a variance from a specific requirement of the guidelines. Application forms for the variance request may be obtained from the NCC Coordinator. The burden of establishing the reasons why a specific requirement of the Design Review Guidelines is not appropriate lies with the Owner and his Architect. The owner's Architect should provide reasonable assurance in the variance request submittal that the overall intent of the Design Review Guidelines will be accomplished with the residence as proposed. The decision of the variance rests solely with the NCC, and granting of the variance for one particular situation does not warrant or imply that a variance will be granted for the same situation of another home site. Each variance request will be reviewed on a case by case, residence by residence basis, in keeping with the overall objectives of the Design Review Guidelines.
7. MODIFICATIONS - Once approved by the NCC any changes on the exterior of the home must be requested in writing on the appropriate modification form.

8. CONSTRUCTION DEPOSIT - A refundable construction deposit must be submitted by the Owner or Builder prior to any construction activity. These funds will be utilized to repair any damage caused by construction personnel or equipment to adjacent property, amenities, or used to clean the construction site, if necessary. The deposit will be returned upon receipt of Certificate of Occupancy, less any funds withheld due to damage or cleanup required. Please contact the NCC Coordinator for current construction deposit requirements.

These funds shall be used as assurance that all Owners and Builders will keep their Lot and any adjacent Lots and the construction site in a neat, clean and reasonable fashion, during and after construction, and to comply with all rules and regulations as set forth by the NCC. Owners and Builders are responsible for the actions of their contractors and sub-contractors, who, if found to be in violation of the NCC policies and procedures, may be prohibited from being allowed into Kelly Plantation.

9. CONSTRUCTION COMPLIANCE INSPECTIONS - Periodic inspections may be made by the NCC while construction is in progress to determine compliance with the approved architectural plans and specifications. The NCC is empowered to enforce its policies, as set forth in the Declaration and this Manual, by any action, including an action in a court of law, to insure compliance.

VI. DESIGN REVIEW PROCEDURE

The following is an outline of the procedures for plan submissions for single family detached homes. All plans are to be submitted to the New Construction Committee - Kelly Plantation Owners Association, Inc., 34851 Emerald Coast Parkway, Destin, Florida 32541.

Refer to Design Documents, page 24 in this Manual for details on criteria and specifications.

1. REVIEW RELEVANT DOCUMENTS:
 - A. Lot Purchase Agreement
 - B. Kelly Plantation Owners Association, Inc. Declaration of Covenants, Conditions and Restrictions
 - C. Architectural Criteria and Design Guidelines
2. SCHEDULE PRE-DESIGN MEETING - Once you have your preliminary plans, tree survey, pictures, ideas or elevations for home construction and landscaping you should call Kelly Plantation to schedule a preliminary visit with the NCC. The NCC meets at least once a month and strongly encourages all lot owners to schedule a preliminary visit prior to spending time and money on final plans. Owners are encouraged to have their builder, architect and landscape architect participate if possible. The current review fee is due upon arriving for

your preliminary review. This is a one-time fee. The NCC will provide comments and recommendations critical to approval of your home.

To make an appointment to meet with the NCC call (850) 650-9933 as soon as possible. Appointments are limited and scheduling is on a first come, first serve basis.

3. **BUILDER APPROVAL** - After having your PRELIMINARY MEETING with the NCC, you should proceed with having your home, site plan and landscape plans finalized. It is during this step that your builder and landscape contractor must be approved. The approval procedure consist of having your builder and landscape contractor complete the appropriate application and submitting it to the NCC Coordinator. A notice of Approval/Rejection will be mailed to both you and the builder/landscape architect applicant within 14-days from date of submission.

4. **FINAL SUBMITTAL** - When you have completed all your plans and are within sixty days of your anticipated building commencement date, you should drop off two (2) sets of all the elements listed below as well as one set of all colors, materials, roof, and wall samples. All submissions must be at Kelly Plantation by Monday before each scheduled Thursday meeting. Notice of approval or disapproval and/ or revisions will be forwarded to you by the following Thursday. For a current NCC schedule, please call (850) 650-9933 or (800) 837-5080.

Elements you must have for the FINAL DESIGN REVIEW SUBMITTAL are:

- A. Review fee (IF NOT PAID AT PRELIMINARY REVIEW)
- B. Refundable construction deposit. These funds will be utilized to repair any damage caused by construction personnel or equipment to adjacent property, amenities, or used to clean the construction site if necessary. This deposit, less any funds withheld due to damage or clean-up required, will be returned upon receipt of Certificate of Occupancy.
- C. A Completed Approved Application Form (pages 20-23).
- D. Site Plan with placement of residence structure, out-buildings, patios, walks, driveway, walls, fencing and screening shown in their appropriate Zone Areas on your lot.
 - a. Floor Plans
 - b. Tree Survey will be taken in the 'A' Zone, 'B' Zone and on a 15' strip inside the boundary of 'C' Zone. All magnolia and oak trees with a caliper of 4" or more and pine trees with a caliper of 10" or more should be located on the survey.
NOTE: If you are planning to have a boundary survey made of your lot, you can save some money by having the tree survey done at the same time. Gustin, Cothorn & Tucker at (850) 678-5141.

- c. Landscape & Irrigation Plan (prepared by a Florida licensed Landscape Architect)
- d. Exterior Elevations
- e. Exterior Lighting Details
- f. Details, specifications, materials, all color and material samples, entry doors design, walls and fences, patios; decks, balconies, porches, walks, driveway and screen enclosures.
- g. Approval of Builder & Landscape Contractor.

It is important that all above items be submitted for any consideration for approval. There will be no exceptions or partial submittal. Two sets of all items must be submitted.

5. COUNTY APPROVAL - Upon receipt of NCC approval of your plans and before construction commences, you MUST submit your approved plans and approval letter to the Okaloosa County Building Department at 1804 Lewis - Turner Blvd. Suite 200 in Ft. Walton Beach to receive your building permits. If any changes are required by the permitting agency, the NCC must be notified and must concur with these changes. This will be accomplished by your calling the NCC Coordinator and requesting an appointment.
6. REVIEW FOR CLEARING - Upon receipt of Final Review approval from the NCC and issuance of your county building permits you should have the corners of your house staked in the field for review prior to any clearing of the lot. Please call the office to schedule a time for an NCC representative to review the site with you and your builder. Any unauthorized clearing of any lot will lead to strict penalties, as per the Kelly Plantation Declaration of Covenants, Conditions and Restrictions. No clearing equipment will be allowed to enter the Kelly Plantation property prior to the above on-site meeting.
7. FINAL INSPECTION - Upon completion of construction you will submit a copy of your Certificate of Occupancy and foundation survey to the NCC Coordinator. The Coordinator will schedule the NCC inspection tour of your property and arrange for the return of your construction deposit. Tours will be scheduled during regular NCC meeting days. There will be no exceptions.
8. DESIGN DOCUMENT CHANGES - The Owner or Builder must notify the NCC prior to making any changes to the approved plans. A modification form with applicable support data must be submitted to the NCC for approval. All deviations may require full NCC approval prior to commencement of changes.
9. PERIODIC INSPECTIONS - The NCC reserves the right to inspect construction in progress for conformance with approved design documents. The applicant's full cooperation with members of the NCC during these inspections is

required. Any violations of approved design documents may be subject to a fine and/or legal action. Fines may be withheld from the construction deposit.

IMPORTANT THINGS TO REMEMBER DURING THE CONSTRUCTION APPROVAL PROCESS.

- ❖ *ANY and ALL changes to the approved plans must be submitted to the NCC for concurrence.*
- ❖ *Periodic inspection of your construction site may occur without notification.*
- ❖ *Access to the NCC will only be during the preliminary review. All final plans will be reviewed privately by the committee with all decisions being final.*

DESIGN REVIEW APPLICATION
(Page 1 of 4)

DATE: _____

LOT #: _____

TO: Chairman, New Construction Committee

OWNER:

Name _____

Street _____

City _____ State _____ Zip _____

BUILDER:

Name _____

Street _____

City _____ State _____ Zip _____

ARCHITECT:

Name _____

Street _____

City _____ State _____ Zip _____

LANDSCAPE
ARCHITECT:

Name _____

Street _____

City _____ State _____ Zip _____

EXHIBIT B
DESIGN REVIEW APPLICATION
(Page 2 of 4)

This application is being submitted for:

Major Review (Owner) _____

Major Review (Builder) _____

Has floor plan been previously approved for another Lot? _____

If yes, for which Lot? _____

Is elevation style substantially different? _____

Air Conditioned Space (1st floor) _____

Air Conditioned Space (2nd floor) _____

Other: _____

Total Gross Sq: Ft. _____

GENERAL INFORMATION

Lot Dimensions: _____

Lot Sq. Ft.: _____ Stories: _____

Bedrooms: _____ Baths: _____

Height from Slab: _____

Height from crown
of road to roof
ridge line: _____

Finished Floor
Elevation above
crown of road: _____

EXTERIOR FEATURES

Driveway

COLOR/FINISH

DESCRIPTION

Entry Walk

Siding

Stone

Brick

Stucco

Shutters

Windows

Window Trim

Entry Door

Glass Sliding Doors

French Doors

Garage Door

Roofing

Fascia

Soffit

Gutters

Chimney

Screening

Porch/Patio Deck

Pool Deck

Privacy Fencing/Walls

Planters

NOTE: Include color chips, materials, samples of color product photos, etc. with application.

(Page 4 of 4)

The preceding application is submitted for review by the New Construction Committee.
Required design documents are attached.

Submitted by:

Owner or Builder: _____

Current Address: _____

Date: _____

Phone Number: (Day) _____ (Evening) _____

**** COMMITTEE USE ****

Date Received: _____

The New Construction Committee has reviewed the foregoing application and rendered the following decision:

_____ Approved

_____ Approved with Limiting Conditions

_____ Denied

Comments (recommendations):

Limiting Conditions (binding provisions):

Chairman/New Construction Committee

Date: _____

VII. DESIGN DOCUMENTS

In order to provide a systematic and uniform review of the proposed construction, architectural documents are required. Two copies of the following documents must be submitted for final review.

1. SITE PLAN:
Scale 1 inch = 20 feet
Property lines, easements and rights-of-way
Driveways, sidewalks, walkways, showing surface materials
Culverts and swales
Drainage Plan
Foundation outline, roof drip line
Pools, decks, patios
Existing grade/finished floor elevations
Required setbacks per structure siting in Building Area of Lot
Sea wall, dock, if applicable
2. FLOOR PLANS
Scale 1/4 inch = 1 foot
3. EXTERIOR ELEVATIONS
Scale 1/4 inch = 1 foot
Front, side and rear elevations
Doors, windows, fences, mechanical equipment
Details, banding
4. BUILDING SECTIONS
Scale 1/4 inch = 1 foot
Detail wall sections
Detail roof sections, pitch, type
5. EXTERIOR COLORS/FINISHES/MATERIALS
Specifications
Manufacturers/models (if applicable)
Product samples/photos/color chips
Complete all sections of design review application
6. ELECTRICAL PLANS
Include interior and exterior lighting
Include mechcal, service equipment and meter locations located to rear 1/3 of house.

7. LANDSCAPE PLANS

- Scale 1 inch = 10 feet
- Tree survey
- Drainage Plans
- Easements and rights-of-way
- Driveways, sidewalks, walls, fences, pools, decks
- Planting plan and plant list showing size and quantity at time of installation
- Irrigation Plan and materials list
- Planting and Irrigation specifications
- Plans must be prepared by Florida Licensed Landscape Architect.

VIII. DEVELOPMENT AND CONSTRUCTION STANDARDS

The following standards and guidelines shall apply to any and all construction, improvement, or alteration of any structure, to any change to the exterior of any structure and to grading, excavating, tree removal, landscaping or any other change to the grounds of a single-family Lot within Kelly Plantation. In the event a violation of these standards and guidelines takes place, the construction or work being performed shall cease until conformance is achieved.

1. **START OF CONSTRUCTION** - No lot clearing or placement of construction material will be permitted until all required governmental permits are obtained and formal written approval of the New Construction Committee has been granted. The contractor shall also schedule an on-site meeting to review corner stakes and clearing limits prior to any clearing.
2. **PORTABLE TOILETS** - Prior to commencing work, a portable toilet must be placed on the job site and in a manner so as least to disturb other residences and other construction.
3. **CONSTRUCTION TRAFFIC, VEHICLES, AND EQUIPMENT** - All construction traffic will access the community through the designated construction entrance which is currently the East Gate or the South Gate. No construction vehicles (trucks, vans, cars, etc.) may be left in the community overnight without prior approval of the BOD or the Kelly General Manager.

Parking is allowed only on the lot under construction or in front of the home or building under construction if in compliance with HOA documents. Use of adjacent lots without prior written permission from the property owner is prohibited. Such written approval is to be provided to the Kelly General Manager.

For new construction, one construction trailer and/or piece of equipment may be left on site overnight. The trailer should be placed in an inconspicuous location, near the rear of the lot. The general contractor is responsible for all trailers and/or equipment that is left on the site and will be considered the point of contact should any issues or concerns arise. The Kelly HOA will not be responsible or liable for any trailers or equipment left on site. Approval of equipment and trailer location is at the discretion of the HOA General Manager.

When parking on the street all four tires must be on the road surface. Subcontractors are requested to keep the number of vehicles at the work site to a minimum and washing of construction vehicles on Kelly Plantation streets is strictly prohibited. If a landscape truck or trailer is parked in the street during

landscape installation or maintenance, safety cones must be placed on the street side of the truck, front, and rear.

4. Contractors are permitted to work only during the following hours:
Mon. - Fri. 7:00 am 6:00 pm during the months of March thru October
Mon. - Fri. 7:00 am to 5:00 pm during the months of November thru February
Saturday 7:00 am to 5:00 pm year round

No work is allowed on Sundays or holidays, including but not limited to the following:

New Years Eve	New Years Day
Memorial Day	Fourth of July
Labor Day	Thanksgiving Day
Christmas Eve	Christmas Day

All requests to work extended hours require a 24-hour advance notice, when possible, approved in writing by the HOA General Manager. All builder are required to keep a 24-hour emergency contract number on record with the HOA office. Failure to comply will result in fines and/or penalties. Emergency maintenance services may be allowed on Sundays and holidays or outside of normal contractor hours with proper authorization from Security.

5. SITE CLEAN-UP - All construction sites must be maintained in a neat and orderly fashion. All trash will be contained in a trash dumpsite located on the construction site. The Owner or Builder is responsible for trash that blows off the site and shall retrieve such trash immediately. There will be no stockpiling or dumping on adjacent Lots or on streets, driveways or easements. Any trash not timely removed from the site will be removed by the HOA and billed to the responsible contractor or subcontractor. Contractors will use only the utilities provided on the immediate site on which they are working.

All personnel working in Kelly Plantation are to keep their immediate work areas free of discarded materials such as lunch bags and trash materials. Objects should not be thrown out of cars or trucks.

Job sites should remain free of weed overgrowth or infestation and should be maintained consistent with the expectations of the Kelly Plantation environment. The HOA General Manager will conduct regular site visits of every construction site and those sites that fail inspection may be closed until the site is once again approved for construction.

6. CLEARING OF SITE - No lot shall be cleared until all plans have been approved and written notification received from the NCC. The builder must schedule and walk the subject lot with NCC representative to review lot corners, house corners and clearing limits. Any plants, vegetation or trees uprooted or cut down in this area shall be removed from the job site and from Kelly Plantation as soon as it is practicable but not later than five working days. See page 27, "Preservation of Natural Environment", for additional requirements regarding Lots containing preserve areas.
7. BUILDER'S SIGNAGE - Only the approved standard construction sign showing the builder, owner and architect will be allowed. Sign standards are available from the NCC, no other signs will be allowed, all other documents and permits will be

contained in a white document box attached to the rear of the approved builder signage.

8. CONSTRUCTION DAMAGE - Any damage to streets, drainage inlets, sidewalks, streetlights, street markers, mailboxes, landscaping, etc., will be repaired immediately by the Builder or Owner or the HOA will cause repairs to be done and such costs billed to the responsible contractor or taken from the construction deposits.
9. FINES – Violation of any of the NCC Guidelines, including commencement of an improvement project, removal of landscape, etc. will result in a violation/fine being issued in accordance with the NCC Guidelines or in job site closure.
1st Offense = \$500.00
2nd Offense = \$1,000.00
3rd Offense = Job Site Closure
10. CONSTRUCTION SPILLAGES - Operators of vehicles are responsible for immediate clean-up of any load spillage. Clean-ups performed by the Developer will be billed to the responsible party. Please report any spills as soon as possible.
11. TELEPHONE/CABLE TV LINES - If any telephone, cable television, electrical, water, etc. lines are cut, it is the contractor's responsibility to report the accident to the Developer within 30 minutes and the responsible contractor must repair damage immediately or arrange for the appropriate installer to repair damage immediately.
12. VEHICLE SEARCH PROGRAM - The Developer may institute a vehicle search program of all vehicles arriving and leaving the property. This program does not require a forced search of any vehicle whose operator does not wish to comply. However, parties who do not agree to the search, if requested, or change their minds after agreement, will not be allowed within Kelly Plantation in the future.
13. VEHICLES AND EQUIPMENT - No vehicles (trucks, vans, cars, etc.) may be left in Kelly Plantation overnight. Construction equipment may be left on the site while needed, but must not be kept off the street, unless prior permission has been granted.
14. NOISE LEVELS - Absolutely no radios will be allowed to be played outside during construction. Radios played inside should be kept to a level which cannot be heard outside.
15. PERSONNEL - Only bona fide workers are allowed on the property and are required to exit the property upon completion of their work. Spouses may drive workers to and from the site, but must not remain on the property unless they are actual employees of the contractor or subcontractor. No children will be permitted on the property unless they are bona fide workers. NO ALCOHOLIC BEVERAGES OR PETS.
16. PRESERVATION OF NATURAL ENVIRONMENT - Your attention is called to the fact that certain areas on the site exist as natural preserves and are to remain as such. Therefore, the following restrictions apply to all construction operations performed in these designated areas:
 1. Designated trees, understory and shrubs are to remain untouched and unharmed.

2. No construction activities are to take place in these designated areas unless directed by the NCC.
3. The dumping of anything in these areas is strictly prohibited.
4. The erecting of storage sheds or construction offices will not be permitted.
5. Driving of vehicles will only be allowed in designated access roads.
6. Earth removal from excavations must be replaced as designated on grading plans.
7. The storage of all construction materials will be in designated areas only, unless the contractor receives written permission from the NCC.

KELLY PLANTATION INTENDS TO ENFORCE THESE REGULATIONS! TO ABIDE BY FAILURE TO ENTER THE THESE RULES MAY RESULT IN THE LOSS OF YOUR PRIVILEGE IN THE COMMUNITY GATE. THEREBY MAKING IT IMPOSSIBLE FOR YOU TO WORK IN THE COMMUNITY.

IX. SITE STANDARDS AND CRITERIA

The following site standards and criteria shall apply to any and all Lots within Kelly Plantation. To ensure the preservation of the natural character of the site as well as maintaining and enhancing the open character of the Lots, no construction or alteration of the site shall commence in any manner or respect until the NCC has approved all plans as described on page 24;25 Design Documents.

1. CLEARING, GRADING, AND DRAINAGE -No grading or clearing of trees shall commence until the site plan showing the nature and location of work has been submitted and approved by the NCC. Fill shall not be deposited at any location without prior NCC approval. No clay fill will be permitted. No grading, cutting or filling shall be commenced until erosion and sedimentation control devices have been installed between the disturbed area and water bodies, watercourses, wetlands and storm drain inlets. No construction or clearing is allowed beyond any conservation easement.

Vegetated buffer strips shall be retained in their natural state to a minimum distance of 25 feet along all wetlands. The width of the buffer shall be sufficient to prevent erosion, trap the sediment in overland runoff, provide access to the water body and allow for periodic flooding without damage to structures. All Okaloosa County requirements must be adhered to.

Existing trees and vegetation shall not be disturbed by grading unless otherwise approved by the NCC. Cuts and fills should be designed to complement the natural topography of the site. Existing drainage structure shall not be altered or affected in any way.

The flow of water shall be directed to existing drainage structures in such a manner as not to allow run-off onto adjacent property. Erosion control during construction is a primary objective. All reasonable methods to prevent erosion must be included in plan submittals. Sea walls will be required to be built on the Bay front Lots F24 to F29 and Lots J1 -J17 (see requirements for sea walls on page 43).

Paved areas shall be designed so that surface water is collected at intervals in a manner that will not obstruct the movement of vehicular or pedestrian traffic and will not create puddles or ponding on paved areas.

2. **STRUCTURE SITING AND BUILDING AREA** - All Lots will contain the following areas: the Total Lot Area shall mean the entire property contained within the boundaries of the Lot; the Building Area (Zone 'C') shall mean that portion of the Lot where Building and Ancillary Structures plus all other uses that are allowed in the Landscape and Hard Surface Area are permitted; the Hard Surface Area (Zone 'B') shall mean that portion of the Total Lot Area that contains Outbuildings, walls, or horizontal hard surfaces such as patios, sidewalks, driveways and landscaping; the Landscape Area (Zone 'A') shall mean that portion of the Lot that contains landscaping, and sidewalks.

3. **SIZE OF RESIDENCE** - The living area of each residence shall contain a minimum of {two thousand eight hundred (2,800.SQ.FT.) for waterfront, and {two thousand five hundred (2,500SQ.FT.) for golf course and interior lots. this is air conditioned square feet, exclusive of garages, porches, patios and terraces.
The maximum height of a residence shall be forty (40') feet measured from crown of road to roof ridge line with no more than fifty (50%) percent of the total square footage of the residence located on the second floor.

4. **PLACEMENT OF RESIDENCE** - The placement of the main residence or Ancillary Structures within the Building Area (Zone 'C') shall be in the most advantageous position to ensure that no trees are unnecessarily disturbed and that the views and privacies of surrounding residences are not adversely affected.

5. **FOUNDATION AND FILL** - Structures within preserve area Lots and/or wooded Lots must utilize stem wall construction to bring the finished floor to the established elevation. Wherever possible, the elevation of the natural grade of the residential Lot shall remain undisturbed and a minimum of fill shall be used for landscaping purpose. No clay fill will be allowed.

6. **PRESERVE AREA LOTS** - Many of the preserve areas existing throughout the property provide natural beauty, making Kelly Plantation a unique development. There are a number of Lots that encroach upon the preserve areas, thus presenting the opportunity to create exceptional residential Lots. To ensure that these preserve areas are left in their natural state and beauty, it is important that each lot be carefully planned. These preserve areas shall be shown on both the site plan and landscape plan submitted for review. The New Construction Committee will not allow Owners or Builders to consider any construction, improvement, grading, excavating, tree removal, landscaping or any other change to the preserve areas of such Lots.

7. TREEREMOVAL

- A. ZONE A (LANDSCAPE AREA) - No tree in the A ZONE shall be removed without written approval from the NCC. Lot owners are required to maintain a natural buffer in this area accenting with proposed landscaping as needed. All Lot owners shall schedule and meet with NCC coordinator prior to any clearing. House corners and tree save areas should be marked for review.
- B. ZONE B (HARDSCAPE ZONE) - Any tree 8" caliper or greater measured 12" above grade that must be removed from the B ZONE for site improvements will be replaced with a # of 4" caliper nursery grown trees to equal 1/2 the caliper of the tree removed. The replacement tree selected from the plant palette may be incorporated into the landscape plan of the Lot or if not, will be planted within some Common Area of the development, to be determined by the NCC. No tree 4" caliper or greater measured 12" above grade shall be removed without first receiving written approval from the NCC. (Palm trees will not be considered replacement trees).
- C. ZONE C (BUILDING ZONE) - Any trees 8" caliper or greater measured 12" above grade that must be removed from the C ZONE for building purposes or site improvements must first be approved in writing by the NCC before removing. Lot owners are encouraged to take special steps to preserve as many trees in this area as possible.

X. ARCHITECTURAL STANDARDS AND CRITERIA

- 1. KEY TO ARCHITECTURAL AND SITE STANDARDS - The Following is a summary of design and construction elements the NCC requires, recommends and/or encourages. These items are described further in this section in the following alphabetical order.
 - A. Ancillary Structures - Discusses location of structures.
 - B. Decks and Balconies - Provides requirements and materials.
 - C. Docks - Provides requirements and location.
 - D. Elevations - Discusses elevation treatments.
 - E. Exterior Lighting and Post Light - Discusses type, location and other requirements.
 - F. Exterior Material and Colors - Indicates acceptable colors and materials

- G. Garbage and Trash Containers - Describes location of containers.
- H. Garages, Driveways, Walkways and Sidewalks - Describes size, location, materials and style.
- I. Gutters and Downspouts-Discusses materials.
- J. Mail Boxes and House Numbers - Describes size, location and requirements.
- K. Mechanical Equipment, Antennas and Satellite Dishes - Discusses locations and enclosure requirements.
- L. Minimum Floor Elevation - Requirements for construction.
- M Roofs and Chimneys - Discusses pitch, recommended materials and other requirements.
- N. Screened Porches, Enclosures and Patios - Describes enclosure requirements.
- O. Seawalls - Requirements for construction on Bay front.
- P. Signs and Flag Poles - Requirements and restrictions.
- Q. Skylights and Solar Collectors- Discusses location, colors and style.
- R. Swimming Pools, Spas/Hot Tubs, Tennis Courts - Describes design, location and restriction.
- S. Playground Equipment, Tree Houses and Outbuildings
- T. Walls and Fencing - Describes location, materials and other requirements.
- U. Windows, Doors, Awnings and Shutters - Styles, materials and other requirements are discussed.

2. **APPLICABILITY OF ARCHITECTURAL STANDARDS AND CRITERIA** - Standards and criteria shall apply to any and all construction and improvements, or alteration thereof. Grading, excavating, tree removal, landscaping or any other change to the grounds of a lot within Kelly Plantation will also conform to the same standards. These are minimum allowable requirements and are in addition to any contractual obligations contained in the agreement for purchase at Kelly Plantation. Certain lots may have additional restrictions due to their proximity to water, wetlands, preserve or golf course.

3. ARCHITECTURAL DESIGN - We encourage that all architectural designs be "traditional" in style with emphasis on a "Coastal Plantation" style and the use of authentic materials. Since no particular design is mandated, each plan shall be considered on an individual basis. Specific emphasis will be placed on impact and harmony with surrounding homes and styles. The Exhibits at the end of this Section provide illustrations on some of the design elements which are encouraged and preferred by the Committee.

- A. ANCILLARY STRUCTURES. - An Ancillary Structure is a detached structure from the main residence which could include, garages, guest house or cabanas and which is within the Building Area (Zone C) of the Lot. These structures must be of the same architectural design, material, roof pitch and color as the main residence.
- B. DECKS AND BALCONIES - Decks must be located at the rear of the house within the Building or Hard Surface Area. The configuration, detail, and railing design should relate harmoniously with the architectural style of the house. Wood decks must be constructed with pressure treated lumber and, in many cases, may be left to weather naturally. In some instances, the Committee will require that the decks be stained to coordinate with the neighborhood design or to help integrate the deck with the house. If decks are stained, the color must relate to the colors of the house. When a deck is on the first level, a skirt board or 90 degree right angle lattice must be constructed, and landscape planting should be provided to screen structural elements as well as soften the structure visually.

Balconies can be an integral design element of a residence. The only street limitation by the NCC is that balconies cannot be enclosed by screening.

- C. DOCKS - Docks are allowed to be built at the rear of Lots FI3 to F29, CCI to CCII, and JI to 134. If a plan is submitted to build a dock, the requirements are as follows. Docks will not be allowed on any lake front lots.
 - 1. The overall dock design must follow the plan as shown on Exhibit D, Typical Boat Dock on page 43. The Dock Plan identifies sections A, B, C and D as:
 - a. Landing - Can be no larger than 100 square feet.
 - b. Dock Walkway - Must be continuous in one direction and a maximum of 5 feet in width.
 - c. Catwalk - There can be only 1 catwalk. The catwalk cannot extend seaward beyond the termination deck.

- d. Termination Deck - There can be only 1 deck a maximum of 250 square feet and it must be at the seaward end of the dock walkway.
2. Piles shall be concealed below the dock surface except at the perimeter of the termination deck. All piles including mooring piles shall be detailed with board and batten detail with white PVC caps.
3. Boat house or covered boat slips are not allowed.
4. Unless prohibited by water depth, all boats over 25 feet in length shall be docked perpendicular to the shoreline.
5. All dock or pile bumpers shall be white marine manufactured. Substitutes such as fire hose or carpeted panels are prohibited.
6. White fiberglass storage boxes are allowed. No other furnishings will be stored or left on any dock.
7. Water and electrical supply should remain concealed from view.
8. A maximum of 2 dock lights will be allowed on each dock. Dock lights will be as specified by NCC.

NOTE: Dock details to be provided by Kelly Plantation.

- D. ELEVATIONS - The NCC focuses on the details and proportions used in the exterior designs, the consistency of detail on all elevations, and compatibility in the streetscape with regard to the other homes constructed in Kelly Plantation. Special attention is given to the creative composition of windows and doors, varying cornice heights and roof lines, and specific elements such as flower boxes, shutters, frieze boards (required on all cornices), and window banding on all sides. The NCC encourages the addition of front porches, recessed garage door framing, roof vents and dormers to embellish the standard symmetry or massing used in many house designs.
- E. EXTERIOR LIGHTING & POST LIGHTS - All exterior lighting must be approved by the NCC prior to any installation of said lighting. Exterior fixtures with metal halide bulbs are encouraged. Proposed exterior lighting shall be detailed on an electrical plan and/or landscape plan identifying wattage, aiming angle and is foot candle curves. Exterior lighting, which in the opinion of the NCC would create a nuisances to the adjoining property Owners, will not be permitted. Lighting fixture design must be compatible with the architectural design and appropriately located. The lights must be directed downward, diffused, shielded, or of low wattage. All exterior lighting shall be buffered from

surrounding residences and shall not be directed to any streets or roadways. Colored lighting is prohibited.

- F. EXTERIOR MATERIAL & COLORS - Artificial, simulated, or imitation materials (i.e., aluminum siding, simulated brick, vinyl siding, etc.) are not permitted on the exteriors of a residence. The following exterior materials, in most cases, are acceptable and appropriate; however, they must be consistent with the architectural design:

Stucco - smooth or textured finish

Masonry - Stone, brick, split rock (ceramic and marble in limited amounts)

Wood - board and batten, concrete, wood siding, hardie boards

Exterior colors and textures that, in the opinion of the NCC, would be inharmonious shall not be permitted. The color of the roof and roof detail, exterior walls, doors, trim, soffit and fascia must be harmonious, as these are integral to the exterior scheme of the residence. Bright colors, with the exception of white, as the dominant color of the residence are prohibited. The use of warm earth tone colors is encouraged for the dominant color of the residence.

The NCC shall have final approval of all exterior color selections. Each Owner or Builder must submit a color and sample board (including stucco, fascia, soffit, decking, pavers, roof tiles, and any building highlights, etc.), to the NCC prior to initial construction and development on any Lot.

- G. GARBAGE & TRASH CONTAINERS - All garbage and trash containers must be stored behind a privacy wall or proper landscape shielding, and shall not be visible from the street. Sanitary, capped containers will be required.
- H. GARAGES, DRIVEWAYS & SIDEWALKS - Each residence must have a private, fully enclosed garage for not less than (2) cars. The minimum acceptable dimensions is twenty-two feet by twenty-three feet (22 ft. X 23 ft.). In most cases, garages must be attached to the main dwelling and in keeping with the architectural style of the residence. Detached garage structures shall be permitted, the location must be Within the Building Area of the Lot ("C" Zone) and shall be unobtrusive and not distracting to adjoining neighbors. The location of a detached garage structure must be approved by the NCC. Carports are not permitted.

Side loading garages are encouraged with garage doors being on the side of the main dwelling and shall not face the street directly fronting the residence. Exceptions to this, such as courtyard situations, will be made on a case-by-case basis. In the case of corner Lots, side load the garage doors must be flipped away from the street.

Double wide doors may be used on side load garages only. Single wide doors must be used on all courtyard garages and recessed a minimum of 15". An 8' wide planting area between all paving surfaces and front of the house is also required. Courtyard designs must also include a low accent wall to help enclose the paved area.

Double garage doors shall be a maximum of 18' in width. Doors for individual stalls shall be a maximum of 9' in width. Automatic garage door openers are required on all overhead doors.

All residences shall have a driveway of at least ten (10') feet in width to a maximum of twelve (12') feet in width at the front of the property line with a 3' flare at curb intersection. Driveways shall be located a minimum distance from the side property line as identified by the NCC on the plot plan. Finished, pattern concrete, pavers, and impregnated stone finishes are permitted. All concrete must be integrally colored with 'Sim Grey' coloring. Standard concrete will not be permitted. Driveways may also be constructed of brick or interlocking pavers, but must be of a stable and permanent construction. Asphalt, blacktop, and loose gravel are prohibited. See Exhibit E, Paving Detail on page 52 for illustration.

Circular driveways are discouraged, but may be approved on a lot by lot basis only when the two access points occur on the same street. On street parking is not permitted, with the exception of model locations and for formal gatherings which may occur on an occasional basis. No trucks, campers, trailers, boats, or recreational vehicles are permitted to be parked on any Lot overnight, unless they are fully enclosed within the garage.

Each lot owner is responsible for installing a 5'-0" wide integral colored sidewalk between the two property lines. Plantation Estate lots will be required to install 7'0" sidewalks. Sidewalks will meander and may be located with the street R.O.W. or within a 10'-0" sidewalk easement along the front of each lot. All owners will be required to complete their sidewalks by January 1, 2001. The exact location will be identified on each lot by the NCC prior to installation (see Exhibit E, Streetscape on page 43 for illustration).

Walkways from the entrance of the residence to the driveway and/or sidewalk shall be of the same pavement materials as required for driveways. The walkways must be of a material that is either the same as that of the driveway or one which is compatible and harmonious to the driveway and residential structure.

- I. GUTTERS & DOWNSPOUTS - Gutters and downspouts are discouraged but may be installed if approved. Down spouts should be located in least conspicuous location and storm water must flow in a direction conforming to the approved drainage plan requirements and so as not to affect adjacent property.

- J. MAILBOXES & HOUSE NUMBERS -No mailbox, newspaper box or other receptacle of any kind for use in the delivery of mail, newspapers, magazines or similar material shall be of a type other than the required mailbox design. Approved mailbox details will be made available. The location of the mailbox must be within the area identified on Exhibit E, Streetscape on page 44 or as approved by the NCC prior to installation.

House numbers placed on the Residence shall be compatible with the architectural style of the residence to which they will be attached.

- K. MECHANICAL EQUIPMENT, ANTENNAS & SATELLITE DISHES - All privately owned electrical, electronic and mechanical equipment, including air conditioning compressors and condensers, swimming pool equipment, transformers and meters, and sprinkler controls shall be properly screened by a solid 4'-0" high wall and landscaped so that they shall not be visible from the street or adjacent property. (See Exhibit F on page 45).

No window or wall air conditioning or heating units shall be permitted. Antennas and satellite dishes of any type are not permitted. (Note, 18" dishes will be reviewed on a case-by-case basis).

- L. MINIMUM FLOOR ELEVATIONS - The minimum finished floor elevation shall be 24" above the crown of the road. The maximum finished floor elevation shall be 36" above crown of road.

- M. ROOFS & CHIMNEYS - Cement tile, clay tile, slate and hardie shake are the recommended materials for all pitched roofs, and are the only acceptable materials on bay and bayou lots. Other materials including asphalt dimensional shingles manufactured by GAF, Elk or Celutex, (40 year min.) shall be considered by the NCC on an individual basis. The proportion of roofs shall be consistent with the architectural style of the residence. The minimum pitch for roofs is 6:12 slope. (Any variation in pitch or material must receive prior approval from the NCC).

All chimneys must include a metal cap covering the spark resistor. Chimney caps shall be painted to match the approved colors. Roof stacks and vents are encouraged to be placed on rear slopes of the roofs where they are least visible from adjoining property and from the street. Roof stacks and vents shall be painted the roof color and not extend above the ridge line of pitched roofs. A parapet roof may be allowed if it is not a dominant feature of the building and is consistent with the architectural style of the residence. Metal roofs are prohibited with the exception of bays and dormers.

- N. SCREENED PORCHES, POOL ENCLOSURES & PATIOS - All screened porches must be covered by the same roof material and made to look as part of the house.

All screened pool enclosures in Stonebridge, Plantation Cove, Plantation Estate and Carriage Place will be required to include architectural detailing consisting of stucco/brick support columns and horizontal beams at the height of the eaves. Minimum 8" stucco columns should be spaced a maximum of 12'-0" apart with a minimum use of aluminum framing. Screening may not extend more than 3'-0" above the eaves of any single story structure. Any screen extended above the upper horizontal beam must include a 45 degree mansard roof. All screening, screen framing, doors, door frames, and structural members of enclosures shall be bronze in color.

All screened enclosures must be within the rear building, or hardscape areas. Zones 'B' or 'C' and may not exceed a line extended and aligned with the side wall of the dwelling.

Patios can be located within the Hardscape Area of the Lot at the rear of the residence. Front and side yard locations will be reviewed on an individual basis but are generally discouraged by the NCC. Patios should be constructed with integrally colored concrete, slate, flagstone, brick or wood, "cool deck", tile, poly pebble or stamped concrete.

- O. SEAWALLS - All Bay front Lots F24 to F29 and J1 to J17 are required to construct a sea wall for the protection of soil erosion. Other Bay front Lots are encouraged to construct a sea wall. Exhibit D, Sea wall on page 43 illustrates the required sea wall design. The construction details are available from the NCC. The Owner or Builder must submit for appropriate permits within 60 days of closing and then construct the sea wall within 120 days of receiving the permit.

- P. SIGNS AND FLAG POLES - All signs, billboards, and advertising structures are prohibited on any lot except the NCC pre-approved builders sign and doc box. No sign shall be nailed or attached to any tree.

A flag pole for display of the American Flag only shall be permitted, subject to NCC approval of placement. No flag pole shall be used as an antenna.

- Q. SKYLIGHTS AND SOLAR COLLECTORS - Skylights should have a low profile, preferably flat or slightly curved. They should be installed parallel with the roof ridges and edges. The skylight frame should be painted to match the color of the roof. No skylights will be permitted on the front roof slopes or those roof area directly visible from adjacent streets.

Solar collectors must be located on the ground and must be harmoniously integrated with the building or the topography. Collectors must be installed in the rear 'B' or 'C' zones of the lot and shall not be visible from any street or any other residential property. Any pipes, wires and control devices should be concealed.

- R. SWIMMING POOLS, SPAS/HOT TUBS, & TENNIS COURTS - All swimming pools must be in ground. Raised decks, spa areas, etc. shall not project more than two (2) feet above the finished grade. Pools shall not be permitted on the street side or side yards of the residence unless incorporated into a courtyard design, nor shall any portion of a pool, decking or enclosure be permitted to extend outside the Hardscape Area of the Lot as indicated on Exhibit C on page 42.

Swimming pool location, design and enclosure details must be submitted for review and approval by the Committee. Details pertaining to privacy or visual separation must be included in the submittal.

Spas/hot tubs shall be located in the rear yard Building or Hardscape Area away from adjacent property so that their use, presence, and noise of the mechanical equipment do not adversely affect the use of the adjacent property. They should be an integral part of a deck, patio, or be landscaped.

Tennis courts will not be permitted.

- S. PLAYGROUND EQUIPMENT, TREE HOUSES, AND OUTBUILDINGS - Play equipment including basketball goals if approved must be placed in the rear Zone 'C' or Zone B and be in the rear shadow of the residence not visible from the street. Absolutely no equipment will be allowed in Zone A. Portable equipment/goal must be stored in the garage when not in use (nightly). No playground equipment or basketball goals will be allowed on any lot along the golf course corridor or lake.

Absolutely no tree houses shall be constructed on any lot or common area properties.

Outbuildings, if approved, must be placed within the rear Hardscape Area, (Zone 'B') of the Lot and must be in scale with the size of the yard and existing buildings. Generally, Outbuildings must be constructed of natural materials and left to weather naturally or painted with the colors of the residence. Outbuildings should be screened by natural vegetation or additional landscaping. Any and all Outbuildings must be approved by the NCC prior to construction and installation. As indicated under Definition Section on page 6.

T. WALLS & FENCES -

1. Fences will only be allowed to close in pool areas. Pets must be confined through the use of invisible fence methods.
2. All walls and fences must be located within the Building Area (Zone 'C') or the rear. Hardscape Area (Zone 'B') as indicated by cross hatching on exhibit C page 42.
3. The maximum height for a solid wall or fence in the 'C' zone is 5'-6" tall. The maximum height for a wall of fence in the rear 'B' zone is 4'-0" tall.
4. All fences on lots along the golf course corridor shall be black ornamental aluminum picket with top and bottom rails. Columns may be incorporated but must be spaced a minimum of 16'-0" apart and maximum of 5'-0" tall. No chain link or wire fencing is allowed.
5. Walls and fences in The Plantation must conform to styles shown in exhibit H, fences - wall on page 47.
6. All fencing or wall material and location must be approved by the NCC prior to construction and installation. Fencing or walls should relate to materials, colors, and architectural style of the building. Gates must match the fencing or wall in design, material, height, and color; and the top of a gate must be straight and flush with the top of the fence or wall.
7. All fencing must be finished on both sides. The top of all fences must be maintained level. If the ground slopes, the fences must be stepped. If there is a horizontal trim piece at the bottom of the fence, it too must be maintained level. Vertical members must be plumb, and generally, the tops of the posts and boards must be in line. Fences should be located so that trees do not have to be removed.
8. Decorative entry walls, entry gates, courtyard walls, and privacy walls surrounding and abutting pool decks are considered structures appurtenant to the residence and may be allowed within the Building Area (Zone 'C') of the Lot.
9. Walls and fencing can be an intrusion on the open character of Kelly Plantation and may have both a visual and physical impact on adjoining property. Therefore, no fence or wall is permitted in the Landscape Area of the Lot. Careful consideration must be given to the walls and fencing concept and execution.

U. WINDOWS, DOORS, AWNINGS AND SHUTTERS - Unfinished aluminum, bright finished, or bright plated metal on exterior doors, windows, frames,

screens, louvers, exterior trim or structural members shall not be permitted. Metal frames shall be either anodized or electrostatically painted, and must be harmonious with the exterior color and texture of the residence. Wood frames must be painted, sealed or stained. Screening material must be standard brown in color. No natural white or green screening will be allowed.

Each home must have the front entry door approved prior to construction. Doors should be kept simple in design and color. Overly busy designs with brass earning and etching will not be approved. The NCC encourages the use of simple French style or solid paneled doors.

Screen doors should not detract from, or alter the appearance of the entryway. The screen door should be painted to match the color of the door it fronts, or, in some situations, painted to match the color of substantial door trim. Screens are prohibited on the front entry doors.

The use of reflective tinting or mirror finishes on windows is prohibited. Jalousie windows and doors are not permitted

Awnings and canopies shall not be permitted.

Shutters should be properly proportioned and sized to match the windows or doors and shall be installed in pairs. The color should be coordinated with that of the house. NCC approval will depend upon whether the style of the house is appropriate for shutters. Operable wood shutters are recommended but fiberglass shutters will be accepted per NCC approval.

Exhibit I, Windows & Shutters on page 48, and Exhibit J, Doors, Steps and Porches on page 49, illustrate the NCC acceptable design styles.

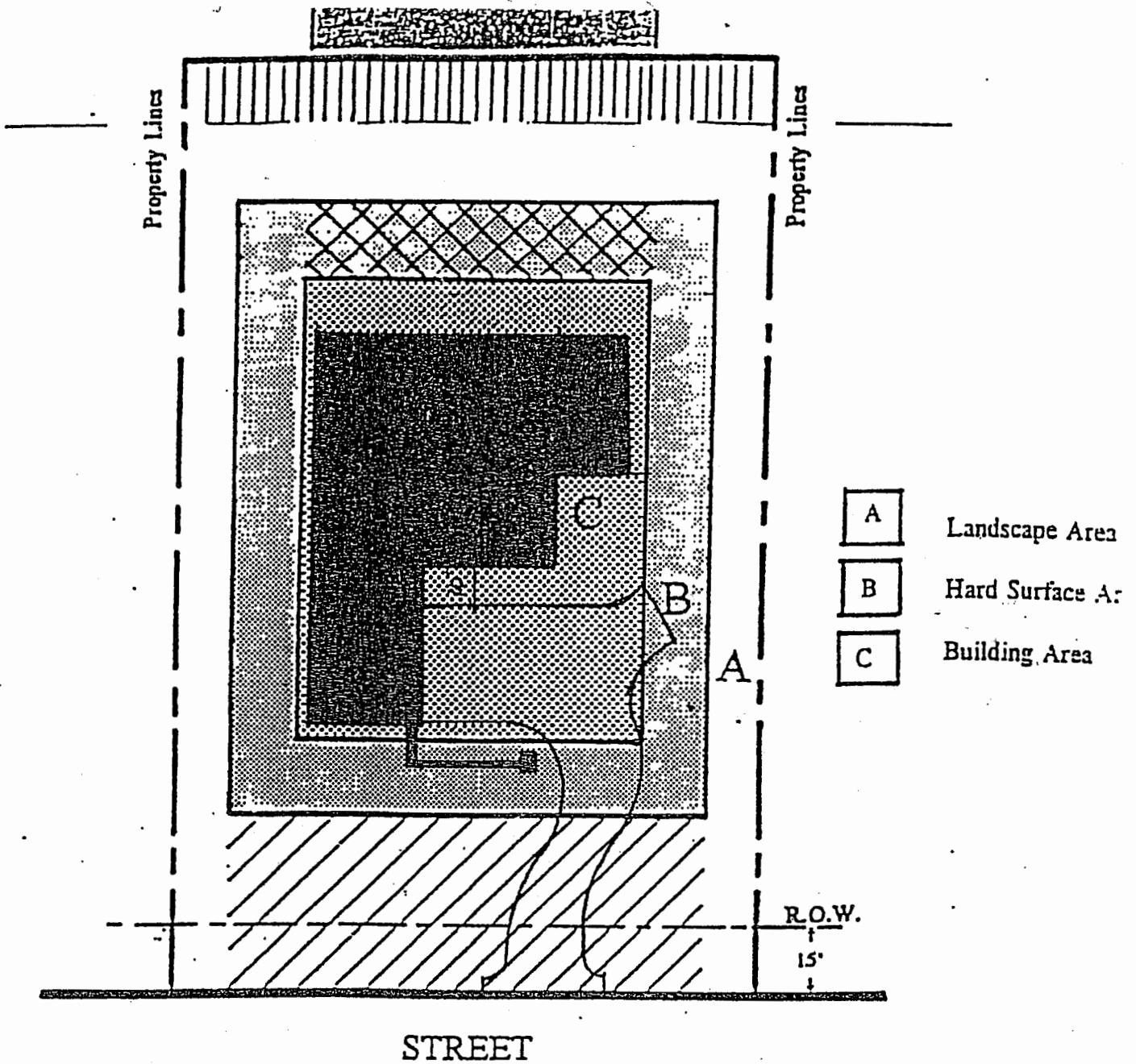
XI. SUMMARY OF KEY DESIGN ELEMENTS






The following list summarizes those design elements (discussed in specific detail in previous sections) which the New Construction Committee ("NCC") would like to reemphasize.

1. Each owner must begin construction of their home within 5 years of closing on their lot.
2. Prior to any construction, all elements including builder, architecture, color and landscape must be reviewed and approved by the New Construction Committee.
3. Use of certified professionals qualified in the fields of planning, architecture, landscape architecture, engineering and surveying.

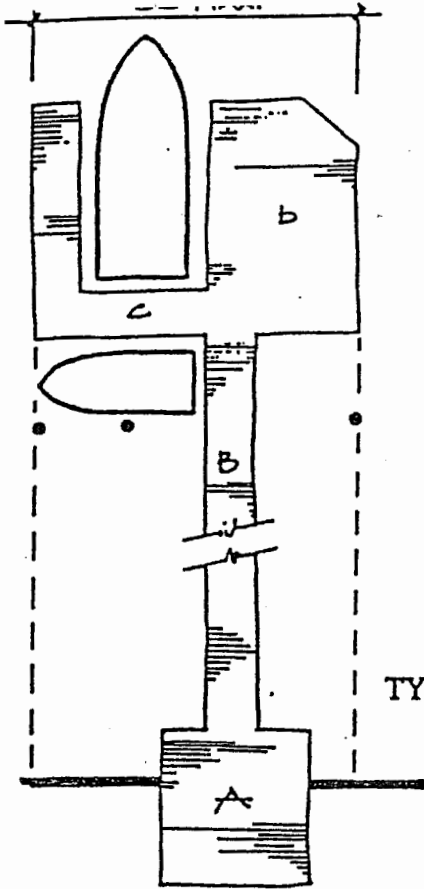
4. No particular design is mandated, but all homes must be "traditional" in detail and harmonious with the surroundings.
5. The minimum living area for bay and bayou front lots is 2800 square feet and 2500 square feet for golf course and interior lots.
6. All homes in Kelly Plantation must be built by a licensed building contractor. The contractor must be a current member of the Kelly Plantation Featured or Approved builder program.
7. Every lot at Kelly Plantation is divided into three areas: Landscape Area (A), Hardscape Area (B) and Building Area (C).
8. The residence structure must be placed within the boundaries of Area C, the Building Area of each lot.
9. No grading, filling or cutting of trees may take place until the site, architectural and landscape plans are first approved by Kelly Plantation New Construction Committee. Tree surveys are required for each lot.
10. All foundations must be a minimum of 24" and a maximum of 36" over the crown of the road.
11. The maximum number of livable floors is 2.
12. Most authentic materials are acceptable, including stucco (smooth or textured), masonry (stone, brick, split rock) and wood (timbers, boards, tongue and groove, roughsawn lumber, shakes, hardi plank).
13. Exterior colors must be harmonious with the natural landscape, warm earth tone colors are acceptable as the dominate color of the residence.
14. Double wide doors may be used on side load garages only. Single wide doors must be used on all courtyard garages and recessed a minimum of 15".
15. The recommended materials for pitched roofs are cement tile, clay tile, slate, hardi shake or minimum 40 year dimensional asphalt.
16. Pools must be located to the rear of the residence in Zones "B" or "C".
17. All screened pool enclosures in Stonebridge will be required to include architectural detailing, consisting of stucco support columns, and beams with a minimum use of aluminum framing. All aluminum and framing must be bronze colored.

18. All mechanical, electrical and pumps must be enclosed by a 4'-0" high solid wall constructed of the same material as the house.
19. Complete fencing of any Lot is prohibited. Fences/walls are allowed only to enclose pools. They must conform to the architectural style, and materials of the residence and can only be located in a pre-determined area. Specific fence details will be required on lots along the golf course corridor.
20. Driveways may be constructed of integral colored concrete, pavers, brick or stone.
21. Each lot owner is responsible for installing a 5'-0" wide integral colored sidewalk between the two property lines. Plantation Estate lots must provide a 7'0" wide sidewalk.
22. All mailboxes in Kelly Plantation must conform to the one design and construction specification decided upon by the New Construction Committee.
23. Minimum requirements for trees, shrubs and grass must be met on every lot.
24. Each lot owner is required to provide a landscaping and irrigation plan prepared by a Florida licensed Landscape Architect as part of their NCC submission.
25. The developer, in order to minimize iron stains, has installed a separate irrigation supply system to be used by each lot. Wells will not be allowed. Refer to current estimated development cost for tap fees.
26. Docks are not allowed on any lake.
27. Any modifications or additions to the originally approved design of any residence must be approved by the modifications committee prior to beginning the work.

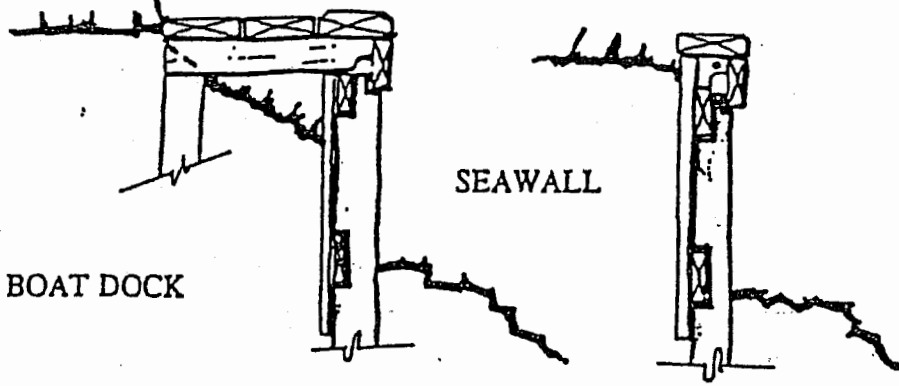
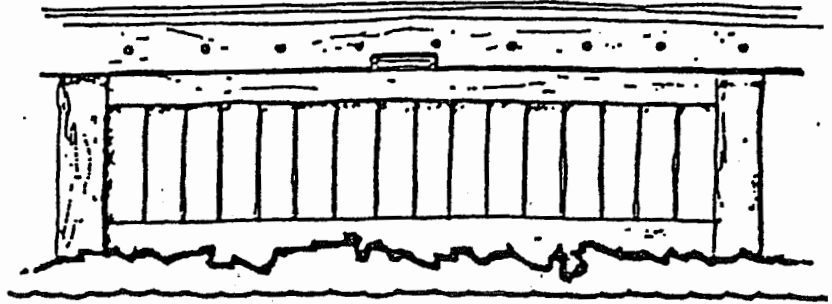


-  Seawall Location
-  Driveway, Walkway and Sidewalk Location within the Landscape Area
-  Exterior Lighting Area
-  Pools, Patios, Outbuildings, Fences and Walls Location within the Hard Surface Area
-  Dock Area

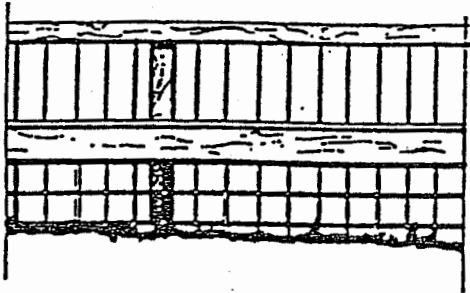
**EXHIBIT C
SITE PLAN
IMPROVEMENT LOCATIONS**



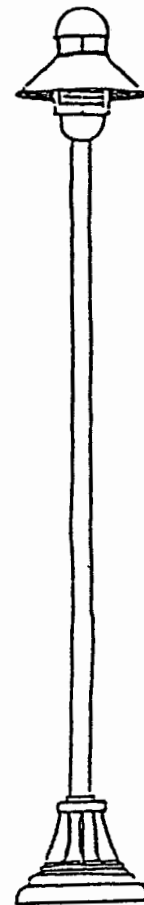
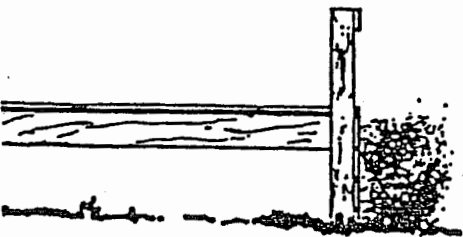
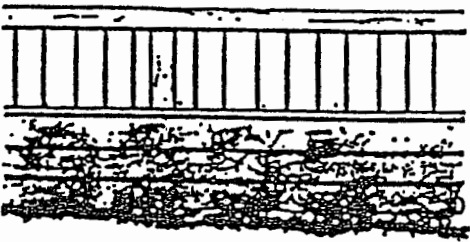
TYPICAL BOAT DOCK



SEAWALL



DECKS

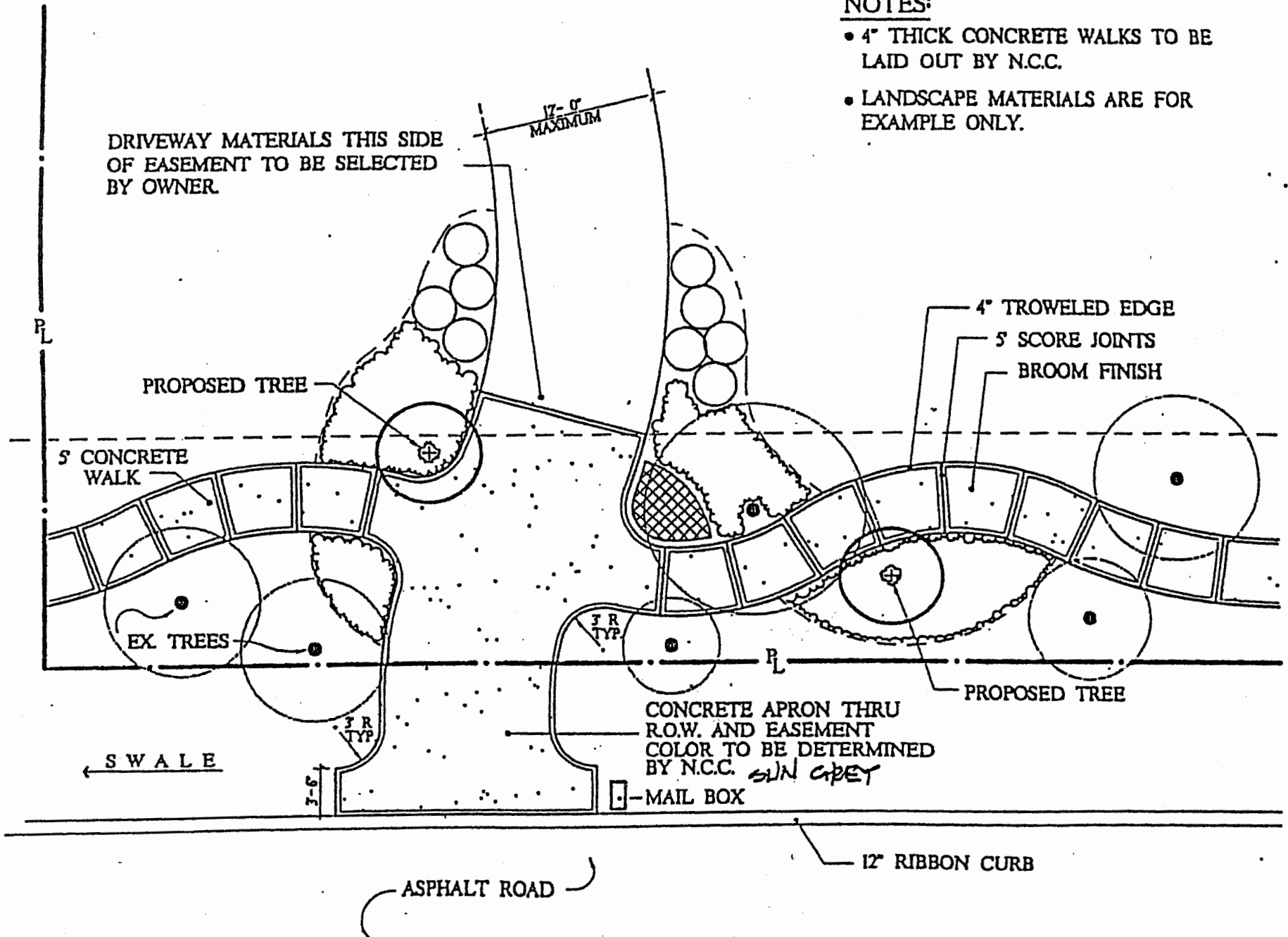


DOCK LIGHT

EXHIBIT D
TYPICAL BOAT DOCK, SEAWALL, DECKS, DOCK LIGHT

NOTES:

- 4" THICK CONCRETE WALKS TO BE LAID OUT BY N.C.C.
- LANDSCAPE MATERIALS ARE FOR EXAMPLE ONLY.



DRIVEWAY & STREETScape DETAIL
EXHIBIT E

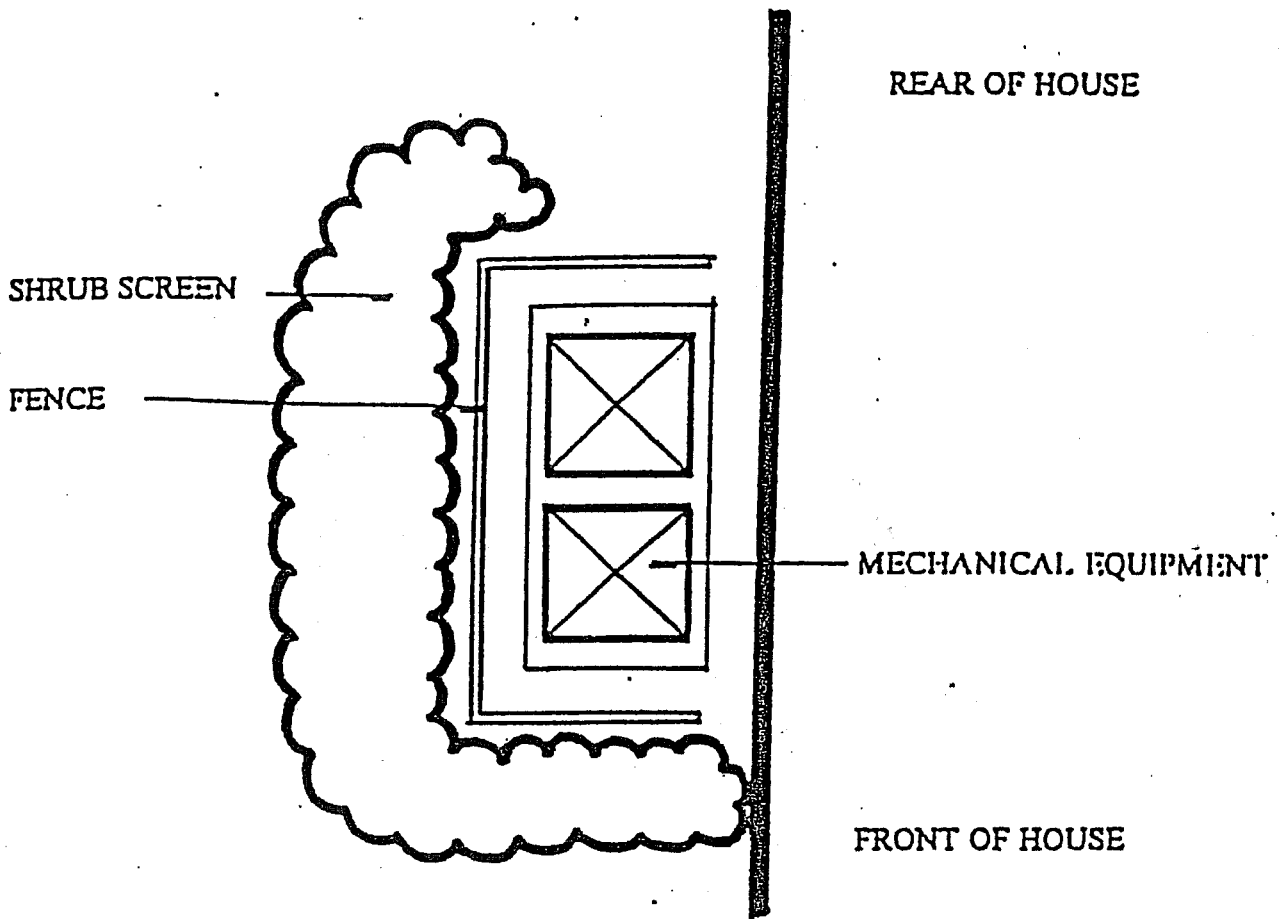


EXHIBIT F
TYPICAL LANDSCAPE ENCLOSURE MECHANICAL EQUIPMENT

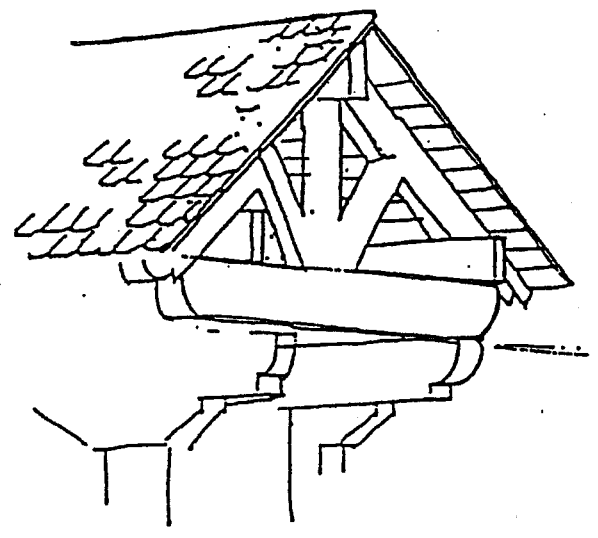
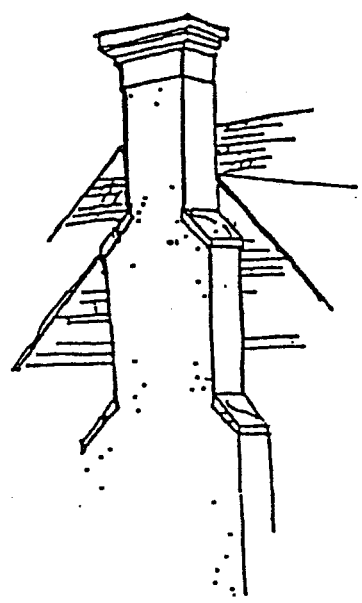
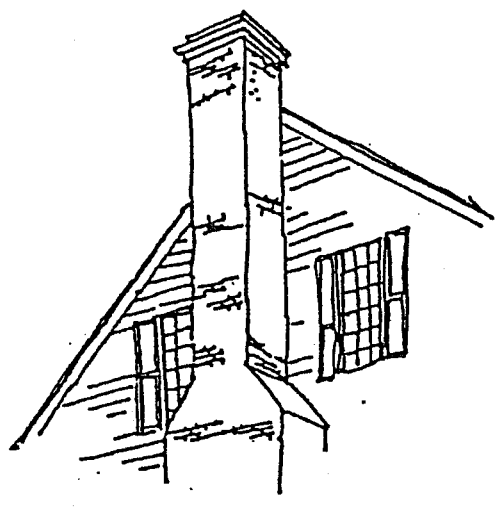
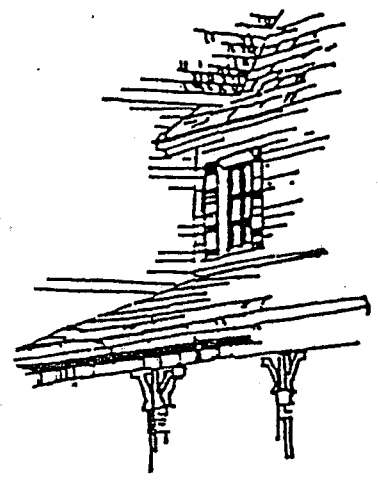
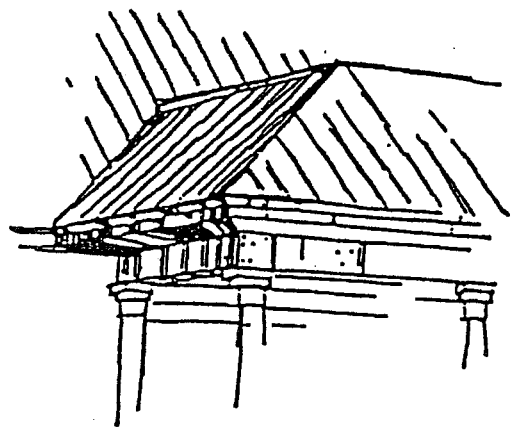
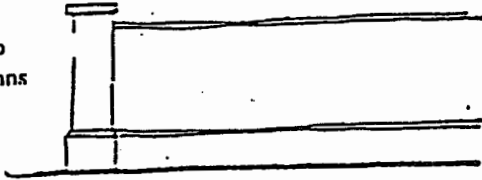


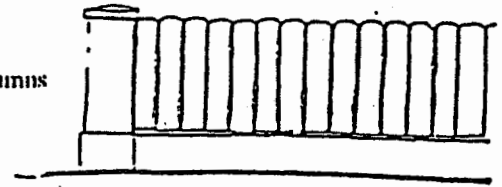
EXHIBIT G
ROOFS AND CHIMNEYS

SOLID SCHEME

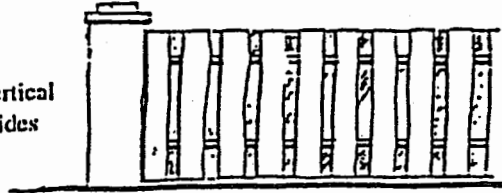
Brick or Stucco
Walls & Columns



Brick or Stucco
Low Walls & Columns

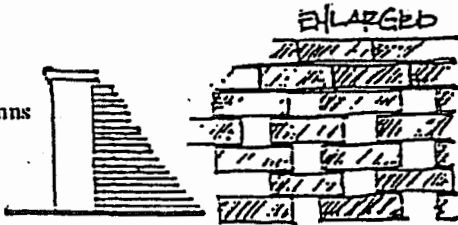


Brick or Stucco
Columns with Vertical
Boards on both sides

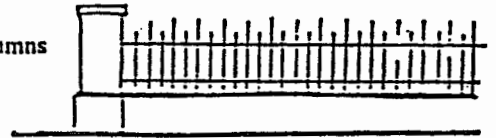


SEMI-OPEN SCHEME

Pierced Brick
Walls & Columns

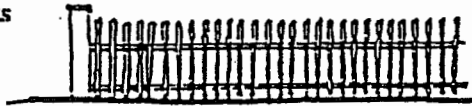


Brick or Stucco
Low Walls & Columns



Decorative Fence

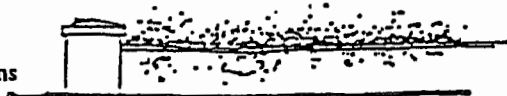
Min. 6x6" Posts
& Wooden Pickets



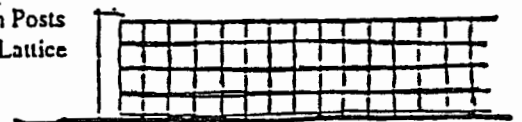
OPEN SCHEME

Garden Wall / Plaster Wall

Brick or Stucco
Walls & Columns



Min. 6x6" Wooden Posts
With Right Angle Lattice



**EXHIBIT H
FENCES - WALLS**

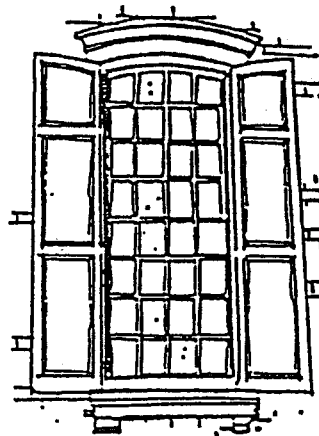
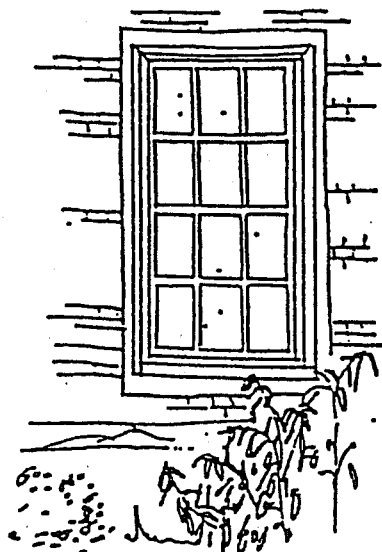
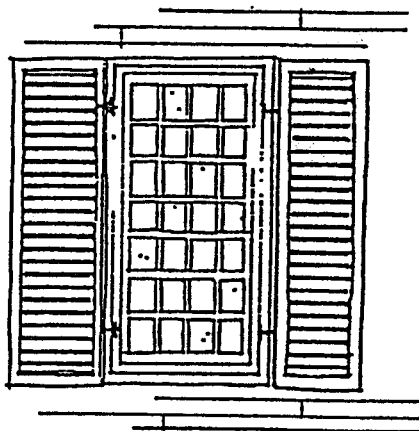
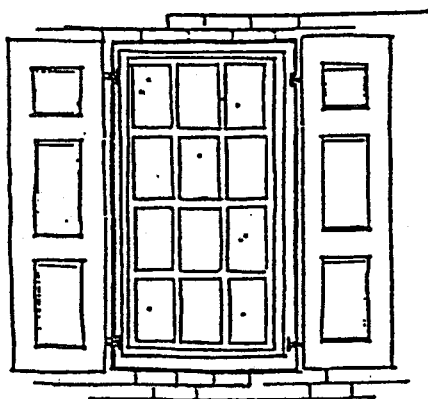
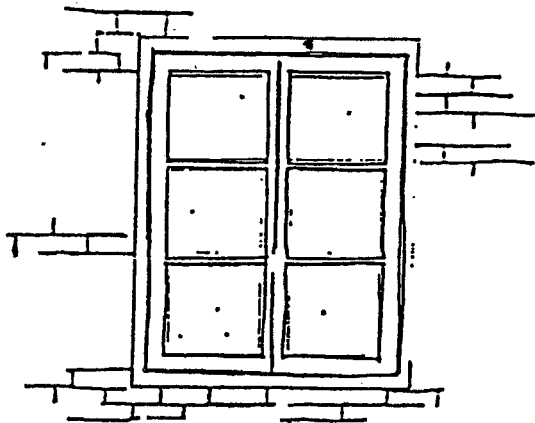
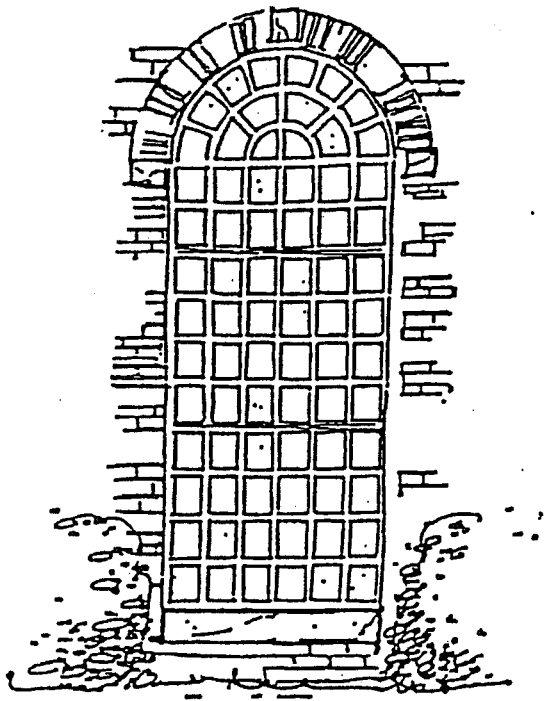


EXHIBIT I
WINDOWS AND SHUTTERS

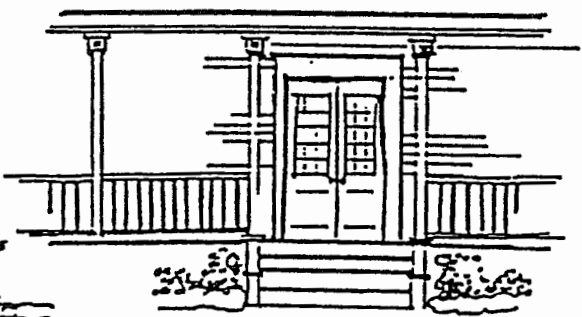
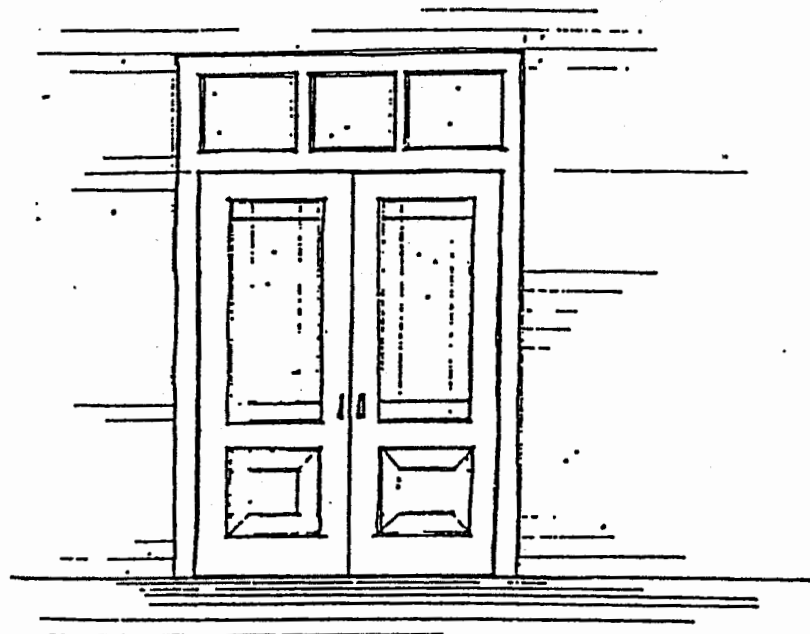
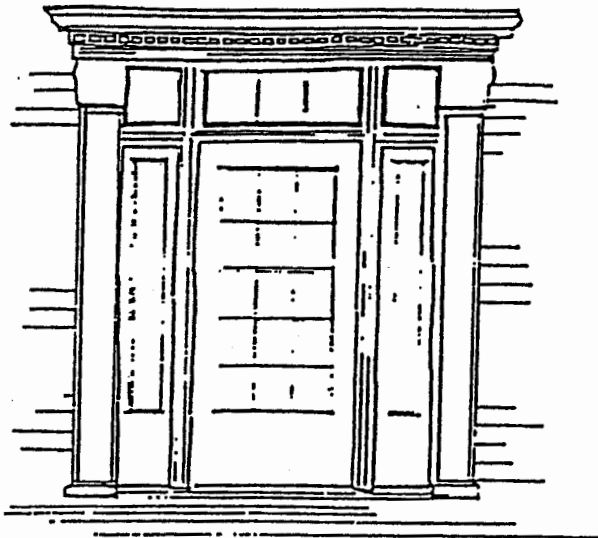
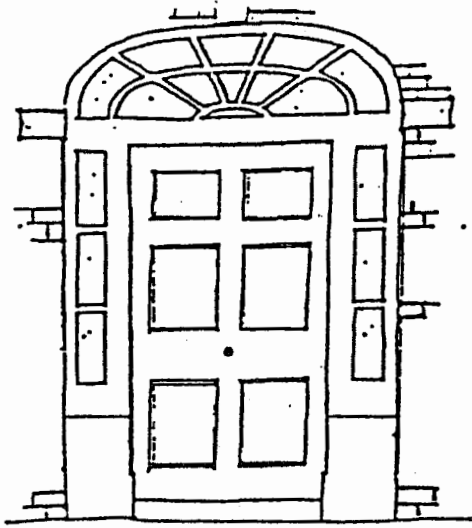


EXHIBIT J
DOORS, STEPS AND PORCHES

XII. KEY TO LANDSCAPE STANDARDS AND CRITERIA

The following is a summary of design, materials and installation elements the NCC requires, recommends and/or encourages. These items are described further in this section in the following alphabetical order.

1. Applicability of Landscape Standards - Discuss approval of landscape plans.
 2. Community-Wide Landscaping Maintenance Standards - Discuss landscape maintenance standards for the community.
 3. Definitions - Definitions of landscape terminology.
 4. Existing Vegetation - Requirements for preservation of existing vegetation.
 5. Irrigation System - Describes irrigation system requirements.
 6. Landscape Plan - Discusses landscape plan submission.
 7. Tree Planting - Details tree planting program.
 8. Planting Beds - Details, planting bed and shrub planting program.
 9. Sod - Lists acceptable types of sod and amount of coverage
 10. Plant Palette - Lists recommended plants.
1. **APPLICABILITY OF LANDSCAPE STANDARDS** - The following landscaping standards shall apply to all Lots within Kelly Plantation. The NCC has adopted these standards as an integral part of the Kelly Plantation Architectural Criteria and Design Guidelines. No landscaping shall commence in any respect until the NCC has approved the landscaping plan. All landscaping shall be installed by an approved landscaping contractor and shall be completed prior to occupancy.
 2. **COMMUNITY WIDE LANDSCAPING MAINTENANCE STANDARDS** - Owners of single family Lots in Kelly Plantation shall maintain the landscaping on their property in a clean and attractive manner. Landscaping shall in no way detract from the appearance of the neighborhood. Landscape maintenance shall include, but not be limited to, the mowing and edging of all lawn areas; the pruning and cutting of all trees and shrubbery; the weed removal from all planting beds; and the fertilizing and watering of all plant materials and lawn. All landscape maintenance shall be executed in a manner and with such frequency as is consistent with good property management.

If any Lot becomes unattractive in appearance due to negligence or plant material has become detrimental to adjoining property Owners, the Association shall have the right to

remedy the condition in question, at the expense of the Owner. In the event this occurs, the Owner of the Lot involved will receive fifteen (15) days notice of the proposed action to be taken, thus allowing time for rectification. The Association shall further have the right, upon like notice and conditions, to care for vacant or unimproved property that has become undesirable in appearance, all at the expense of the Owner. All expenses must be paid to the Association upon demand. If payment is not received within ten (10) days a lien upon the property will become effective.

All single family Lot Owners are responsible for the landscape maintenance of all the property within the legal description of their Lot with two exceptions:

All Lots fringing the preserve areas are to be maintained to the edge of the preserve areas as delineated on the Lot survey provided by the Developer. All preserve areas are to be left in their natural state. These areas can be hand grubbed but the grades cannot be altered.

Unless otherwise note, all waterfront Lots are to be maintained to the water line in the rear yard area.

3. LANDSCAPE DEFINITIONS

- A. Caliper - Trunk diameter measured twelve (12) inches above the ground.
- B. Canopy - The horizontal measurement of a tree crown.
- C. Drip Line - Vertical line extending from outermost branches to the ground.
- D. Ground Cover - Low growing woody or herbaceous other than turf not over two (2) feet zero (0) inches.
- E. Hedge - Landscape barrier consisting of continuous dense planting of shrubs.
- F. Irrigation System - Permanent water system designed to transport water to plants and turf.
- G. Landscaping - Combination of plants (turf, ground cover, shrubs, vines, hedges, trees) and non-living material (rocks, pebbles, sand, mulch, walls, fences).
- H. Mulch - Organic materials used to retard weed growth, retain moisture, and reduce erosion.
- I. Plant Material - All existing growing plants plus ones to be added to site.
- J. Screening - Hedge, wall, fence, thicket that occludes views or structures.

- K. Shrub - Self-supporting plant with multiple stems and branches growing to a mature height of two (2) feet zero (0) inches to twelve (12) feet zero (0) inches.
- L. Tree - Self-supporting woody plant with single or multiple trunks growing to a mature height of over twelve (12) feet zero (0) inches.

4. EXISTING VEGETATION - All Lots must be carefully planned to minimize any destruction of existing trees and vegetation. All existing tree locations are required to be identified as part of the site plan criteria. The Committee encourages the utilization of existing vegetation, whenever possible, to preserve the natural character of the Lot. With the exception of the driveways, building pad and lawn areas, natural vegetation in the landscape area (Zone 'A') should be left undisturbed.

5. IRRIGATION SYSTEM - All Lots are required to have a fully automatic underground irrigation system for irrigation of the sod and landscaping. Coverage shall be 100% of the landscaped and sodded areas. Owners must install a rain shut off switch and maintain their system for efficient conservation of water usage. The system shall be designed so that no spray pattern extends within the sidewalk or has excessive extension into the street.

The developers have installed a separate irrigation supply line for use by Kelly Plantation lot owners, certain areas of Kelly Plantation are supplied with a reclaimed watering system maintained by Destin Water Users. The current tap fee for connecting to this system is \$250.00. Other areas of Kelly Plantation including Stonebridge and Carriage Place are part of the Kelly Plantation irrigation system. The current tap fee for this system is \$500.00 payable to Kelly Plantation Partners. Absolutely no individual wells will be allowed.

6. LANDSCAPE PLANS - A landscape plan designed by a Florida licensed Landscape Architect must be submitted to the NCC prior to final approval to begin construction. Contact the NCC coordinator for a current list of approved Landscape Architects.

7. TREE PLANTING - A condition of the landscape plan will be a tree planting program requiring each Lot to provide a specified number of selected trees within the front and rear yard areas. This program has been developed to enhance the character and image of Kelly Plantation. The requirements for the tree planting program are as follows:

Each building site is required to have one (1) 4" cal or greater tree (oak, magnolia, long leaf pine) for every 3,000 square feet of Lot area. For example, a building site of 18,000 square feet would require six (6) trees:

$$18,000 \text{ feet} \div 3,000 \text{ feet} = 6 \text{ tree or credits required}$$

If there are existing trees, (oak, magnolia, Long leaf pine) saved on the lot, the following point system would be in effect:

Diameter of Tree

At 12 inches above grade:

12 inch or more caliper = 2 tree credits

4 to 12 inch caliper = 1 tree credit

Where additional tree credits are required, one Live Oak or Green Southern Magnolia tree with a minimum of four (4) inch caliper shall be planted on each Lot. All proposed trees shall have a minimum caliper of four (4) inches measured twelve (12) inches above ground, be twelve (12) or fourteen (14) feet in height, and have a minimum spread of six (6) feet. At least fifty percent (50%) of the required trees shall be in the front yard and at least thirty percent (30%) of the required trees shall be in the back yard.

In addition, each building site is required to have at least three (3) street trees (four {4} if a corner Lot) planted within the front 15' sidewalk easement area of the Lot. See Exhibit E, Streetscape on page 44 as an example and the Tree List on page 58 for the selection of recommended trees.

- 8. SHRUB BED AND ACCENT TREES - Another condition of the landscape plan is the inclusion of planting beds and shrubs within the front, side and rear yard areas. The front yard area must have a minimum of forty (40%) percent of the proposed planting beds and shrubs, with a minimum of thirty (30%) percent located in the rear yard area.

All planting beds will be kept free of weeds and unsightly materials. The mulch for the planting beds must be hardwood, mulch, bark chips, pine straw and/or plant material. The NCC must approve the mulch material as part of the landscape plan review.

In addition, to the required tree planting in, item 7 above, the following index should be referenced as a minimum requirement for each Lot.

The Plantation

Lots	F-13, F-29	5	Evergreen Trees	8-10'ht.
	All Model Homes	5	Flowering Trees	10-12'ht.
		400	Shrubs	3 gallon

The Plantation

Lots		4	Evergreen Trees	8-10'ht.
	CC-1, CC-11	4	Flowering Trees	10-12'ht.
	J-1, J-34	350	Shrubs	3 gallon

The Plantation

All other Lots		3	Evergreen Trees	
		3	Flowering Trees	
		300	Shrubs	

Plantation Cove				
Lots	1-7	6	Evergreen Trees	8-10'ht.
		6'	Flowering Trees	10-12'ht
		550	Shrubs	3 gallon
Plantation Estates				
Lots	1-13	6	Evergreen Trees	8-10'ht.
		6	Flowering Trees	10-12'ht
		550	Shrubs	3 gallon
Stonebridge				
Lots	DD-1, DD-17	6	Evergreen Trees	8-10'ht.
	Model Homes	6	Flowering Trees	10-12'ht
	Specs	550	Shrubs	3 gallon
Stonebridge				
Lots	DD-18, DD-21	5	Evergreen Trees	8-10'ht.
	FF-1, FF-6	5	Flowering Trees	10-12'ht.
	GG-1, GG-11, HH-1, H-12			
	II-1, II-2, JJ-1, JJ-28	450	Shrubs	3 gallon
Stonebridge				
Lots	EE-1, EE-13	5	Evergreen Trees	8-10'ht.
		5	Flowering Trees	10-12'ht.
		400	Shrubs	3 gallon

For a variety of height, color and texture, there may be the substitution of (3) one gallon ground covers in lieu of (1) three gallon shrub with the total landscape be compromised of no more than 50% ground covers. Other plant sizes may be substituted as follows:

- (1), fifteen gallon equals (5), three gallon
- (1), seven gallon equals (3), three gallon
- (1), five gallon equals (2), three gallon

Minimum plant sizes @ the time of installation are as follows:

<u>Trees</u>	<u>Size.</u>
Street Trees	4" cal. / 12-14" ht.
Evergreen	8 - 10' ht.
Flowering	1 1/2 cal. or 1" multi-stem (10-12'ht)
<u>Shrubs</u>	3 gallon
<u>Ground covers</u>	1 gallon

9. SOD - All Lots should be sodded with St. Augustine grass. Those areas receiving other landscaping, areas receiving constructed improvements and areas that the NCC deems unnecessary for sod due to its existing natural character (i.e., preserve areas, heavily wooded areas and environmentally sensitive areas) will remain unsodded.

Sod must be carried to the edge of pavement of all adjacent public or private streets in addition to meeting sod that is placed by the Developer, or Common Areas unless otherwise noted, all lots along interior lakes will be required to provide sod and irrigation to the waters edge. The limits of sodding must be shown on the landscape plan for NCC approval.

10. PLANT PALETTE - To insure a unified landscape theme throughout Kelly Plantation, the NCC has established a recommended plant list. This list is to be utilized as a selective guard for all proposed landscape material. Proposed plant material, other than the following, shall be approved by the NCC as part of the landscape plan review. The following plant list has been categorized according to the landscape use and/or size of the selected material.

RECOMMENDED PLANT LIST

NOT ALL RECOMMENDED PLANTS WILL WITHSTAND EXTREMELY COLD WEATHER. LANDSCAPE DESIGNERS ARE CAUTIONED THAT TEMPERATURES AS COLD AS 20 DEGREES FAHRENHEIT MAY BE ENCOUNTERED FROM TIME TO TIME IN THE COASTAL NORTHWEST FLORIDA REGION

Botanical Name

Common Name

Ground covers

Agapanthus Africanus

'Peter Pan'

Ajuga genevensis

Geneva bugleweed

Aspidistra elatior

Cast Iron Plant

Euonymus fortunei

Running strawberry Bush

Hedera helix

English Ivy

Juniperus conferta

Shore juniper

Juniperus horizontalis 'plumosa'

Andoria juniper

Lantana Camara 'Horizon'

Horizon Lantana

Lantana Camara 'Gold Mound'

Gold Mount Lantana

Lantana montevidensis

Weeping Lantana

Liriope spp

Lily-turf

Ophiopogon japonicus

Mondo

Vinca major

Periwinkle

Vinca minor

Dwarf periwinkle

Asparagus plumosus

Plumosa Asparagus Fem

Campsis radicans

Trumpet creeper (N)

Clytostoma callistegioides

Painted trumpet

Ficus pumila

Climbing Fig

Gelsemium sempervirens (P)

Carolina yellow-jessamine (N)

Passiflora spp

Passion Flower

Trachelospermum jasminoides

Confederate-jasmine

Wisteria sinensis

Chinese wisteria

Fatshedra Lizei

Fatshedra

Allamanda Cathartica

Common Allamanda

Small Shrubs

Berberis thunbergii atropurpurea
Buxus harlandi
Buxus microphylla cv.. Japonica
Fatsyhedera lizeci
Gardenia jasminoides "postrata"
Hydrangea macrophylla
Ilex crenata
Ilex vomitoria 'nana'
Jasminum floridum
Ligustrum sinensis variegata
Pyracantha spp.
Rhapidophyllum hystrix
Rhododendron obtusum
Serissa foetida
Yucca sinalliana
Zamia integrifolia

Japanese barberry
Harland boxwood
Japanese boxwood
Botanical Wonder
Dwarf Cape-jasmine (Gardenia)
Hydrangea
Japanese holly (DwarQ
Dwarf yaupon
Showy jasmine
Variegated Chinese .Privet
Dwarf firethorn
Needle palm
Kurume azalea
Serissa
Adams-needle
Coontie palm

Medium Shrubs

Abelia grandiflora
Ardisia crenata
Aucuba japonica variegata
Buxus microphylla japonica
Callistemon rigidus
Euonymus japonicus
G,ardenia jasminoides
Ilex cornuta 'Burfordi'
Jasminum mesnyi
Juniperus chinensis
Lantana camara
Nandina domestica
Photinia glabra
Podocarpus macrophylla maki
Pyiacantha coccinea
Rhapiolepis Indica 'Alba'
Rhapiolepis Indica 'Majestic Beauty'
Rhododendron indicum 'Red Ruffle'
Severinia buxifolia
Spiraea cantoniensis
Trachycus fortunei
Viburnum suspensum

Glossy abelia
Coral ardisia
Gold Dust Plant
Japanese boxwood
Stiff Bottlebrush
Evergreen Euonymous
Cape-jasmine (Gardenia)
Burford holly
Primrose jasmine
Pfizer juniper
Common lantana
Nandina
Japanese photinia
Japanese Yew
Firethom
Dwarf White Hawthorn
Majestic Beauty Ha'tlhorn
Red Ruffle azalea
Chinese boxorange
Reeves spirea
Windmill palm
Sandankwa viburnum

Large Sbrubs

Camellia, japonica	Camellia
Camellia sasanqua	Sasanqua camellia
Chamaerops humilis	European fan palm
Cleyera japonica	Cleyera
Elaeagnus pungens	Silverthorn
Fatsia japonica	Fatsia
Feijoa sellowiana	Pineapple guava (Feijoa)
Hydrangea macrophylla	Hydrangea
Ilex vomitoria	Yaupon
Illicium anisatum	Japanese Anise-tree
illicium parviflorum	Dwarf Anise
Ligustrum japonicum	Japanese privet (Glossy)
Michelia fuscata	Banana shrub
Nerium oleander	Common oleander
Osmanthus spp.	Osmanthus
Photinia serrulata	Chinese Photinia
Pittosporum tobira	Japanese pittosporum
Pittosporum tobira "Variegata"	Variegated Pittosporum
Pyracantha koidzumi	Formosa firethorn
Thuja orientalis	Arborvitae
Vitex agnus-castus	Chaste Tree
Yucca aloifolia	Spanish Bayonet

The following list is a selection of trees that are approved for use other than the above requirements. Any additional trees that are proposed must be approved by the New Construction Committee.

TREE LIST

Botanical Name

Common Name

Small Trees

Butia capitata	Butia palm
Cornus florida	Flowering dogwood
Gordonia Lasianthus	Loblolly Bay
Ilex opaca "Savannah"	Savannah holly
Livistona chinensis	Chinese fan-palm
Magnolia liliflora	Saucer Magnolia
Myrica cerifera	Wax-myrtle
Viburnum odoratissimum	Sweet viburnum
Largerstromia Indica	Crape Myrtle
Platanos Occidentalis	Sycamore

Large Trees

Acer rubrum

Cinnamomum camphora

Ilex opaca

Magnolia grandiflora

Phoenix canariensis

Pinus spp.

Podocarpus spp.

Quercus laurifolia

Quercus phellos

Quercus virginian

Washingtonia robusta

Liquidambar styraciflua

Pyrus Calleryana

Red maple

Camphor Tree

American holly

Southern Magnolia

Canary Island date palm

Pine

Podocarpus

Laurel oak

Willow oak

Live oak

Mexican Washington Palm

Sweet Gum

Bradford Pear